



RECORD COPY of ASI-018, included as  
3 of 6 ASIs for reference with SPA-03

PROJECT NAME:	One River Run (Kindred) 75 Hunki Dori Ct. Keystone, CO 80435	ASI #:	018	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> ARCHITECT <input type="checkbox"/> CONSULTANT <input checked="" type="checkbox"/> CONTRACTOR <input type="checkbox"/> FIELD
PROJECT #:	117033	DATE OF ISSUANCE:	04/15/2024	
OWNER:	One River Run Acquisition Keystone Investments, LLC 132 West Main Street, Suite D Aspen, CO 81611	ARCHITECT:	OZ Architecture, Inc.	
		TO CONTRACTOR:	PCL Construction Services, Inc	
		CONTRACT FOR:	GMP/Building Permit Resubmittal	
		CONTRACT DATED:	September 23, 2021	

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

DESCRIPTION: This ASI provides updated Architectural drawings to remove the Plaza Lift (Keynote 14.01) in the vicinity of the monumental stair on the South side of Area D and to change access and control as required to provide an alternate Accessible Route between the Gondola Plaza on L0 and the Public Courtyard on L1 through the Hotel portion of the project. These changes are being made at the request and direction of the Owner. Architect has confirmed with the AHJ that removing the lift is allowable by Code so long as an alternate Accessible Route is provided between these two public amenity areas. Per attached, an alternate Accessible Route has been provided through the Hotel via Elevator EH4.

As referenced above, operationally, this ASI will necessitate modifying the hardware at Doors 053A, 054 and H100B to allow public access to elevator EH4 on Levels 0 and 1 respectively. Additionally, signage identifying the Accessible Route for public use is provided from Level 0 to Level 1 and vice versa as shown in the attached plans.

ATTACHMENTS:

Revised Architectural sheets: A-100, A-100D, A-101, A-101C, and A-460.  
Revised Access Control dot markup diagram plan.  
ASI-018 Checklist & markup of Drawing Changes as requested by AHJ.

ISSUED BY: Tim Ross, Senior Project Architect

OZ ARCHITECTURE INC.

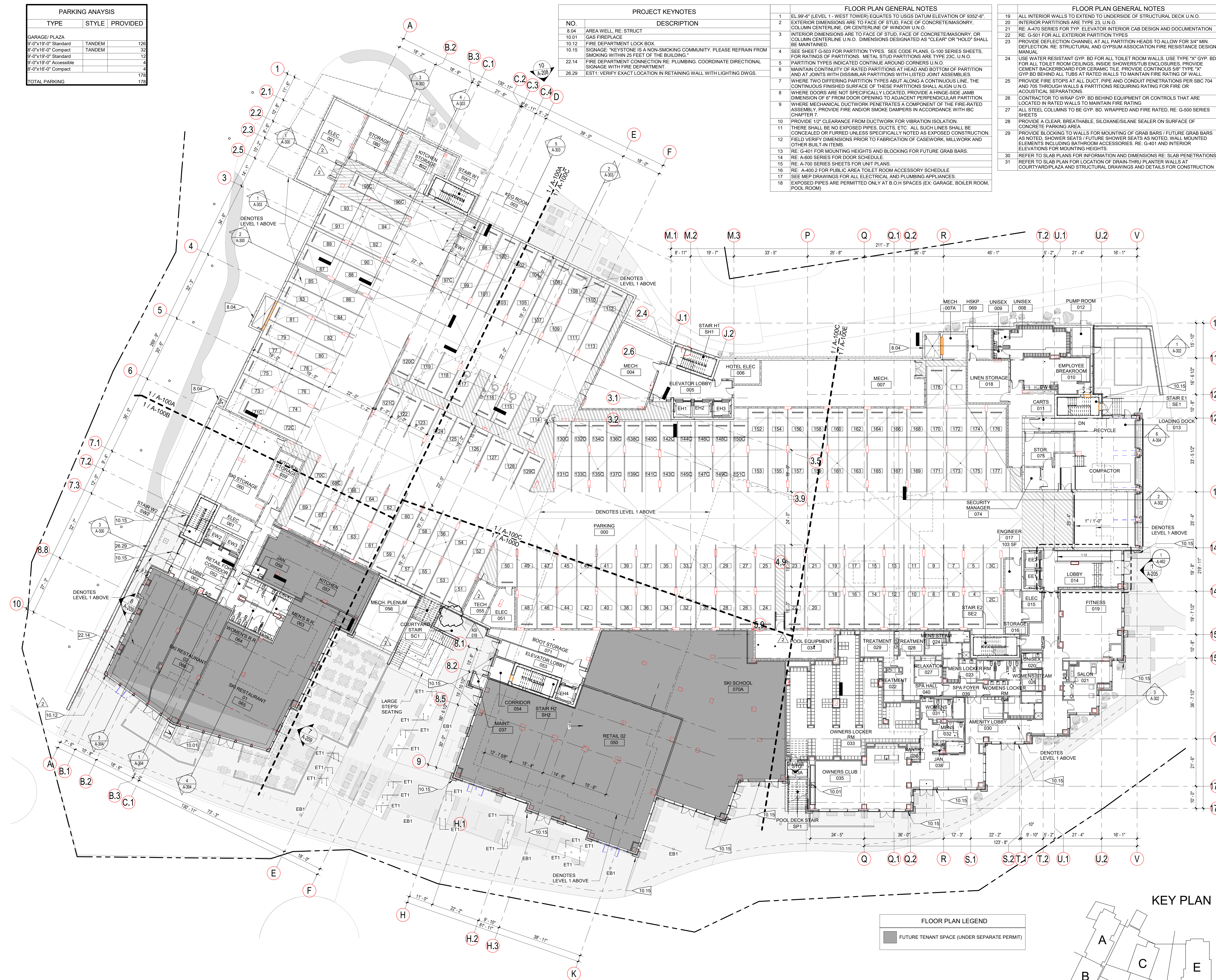


PARKING ANALYSIS		
TYPE	STYLE	PROVIDED
GARAGE/ PLAZA		
9'-0"x19'-0" Standard	TANDEM	126
9'-0"x16'-0" Compact	TANDEM	32
9'-0"x19'-0" Standard		12
9'-0"x16'-0" Accessible		4
8'-0"x16'-0" Compact		4
TOTAL PARKING		178

PROJECT KEYNOTES	
NO.	DESCRIPTION
8.04	AREA WELL, RE. STRUCT
10.01	GAS FIREPLACE
10.12	FIRE DEPARTMENT LOCK BOX
22.14	SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING."
22.14	FIRE DEPARTMENT CONNECTION RE. PLUMBING. COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT.
26.29	EST1: VERIFY EXACT LOCATION IN RETAINING WALL WITH LIGHTING DWGS.

FLOOR PLAN GENERAL NOTES	
1	EL 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO USGS DATUM ELEVATION OF 9352'-6"
2	EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
3	INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
4	SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 23C, U.N.O.
5	PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
6	MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
7	WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
8	WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION.
9	WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10	PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
11	THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
12	FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13	RE: G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14	RE: A-600 SERIES FOR DOOR SCHEDULE.
15	RE: A-700 SERIES SHEETS FOR UNIT PLANS.
16	RE: A-400 2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE.
17	SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES.
18	EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM)

FLOOR PLAN GENERAL NOTES	
19	ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O.
20	INTERIOR PARTITIONS ARE TYPE 23, U.N.O.
21	RE: A-470 SERIES FOR TYP. ELEVATOR INTERIOR CAB DESIGN AND DOCUMENTATION.
22	RE: G-501 FOR ALL EXTERIOR PARTITION TYPES.
23	PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION, RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
24	USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
25	PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SBC 704 AND 705 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACOUSTICAL SEPARATIONS.
26	CONTRACTOR TO WRAP GYP. BD BEHIND EQUIPMENT OR CONTROLS THAT ARE LOCATED IN RATED WALLS TO MAINTAIN FIRE RATING.
27	ALL STEEL COLUMNS TO BE GYP. BD WRAPPED AND FIRE RATED; G-500 SERIES SHEETS.
28	PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA.
29	PROVIDE BLOCKING TO WALLS FOR MOUNTING OF GRAB BARS / FUTURE GRAB BARS AS NOTED. SHOWER SEATS / FUTURE SHOWER SEATS AS NOTED. WALL MOUNTED ELEMENTS INCLUDING BATHROOM ACCESSORIES, RE: G-401 AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
30	REFER TO SLAB PLANS FOR INFORMATION AND DIMENSIONS RE: SLAB PENETRATIONS.
31	REFER TO SLAB PLAN FOR LOCATION OF DRAIN-THRU BATHROOM WALLS AT COURTYARD/PLAZA AND STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION.



**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

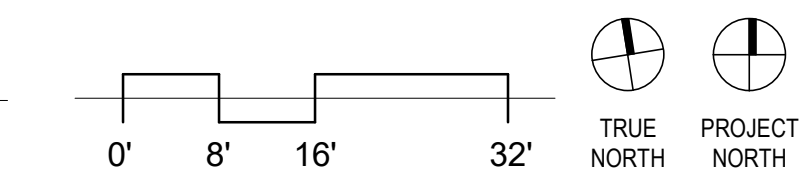
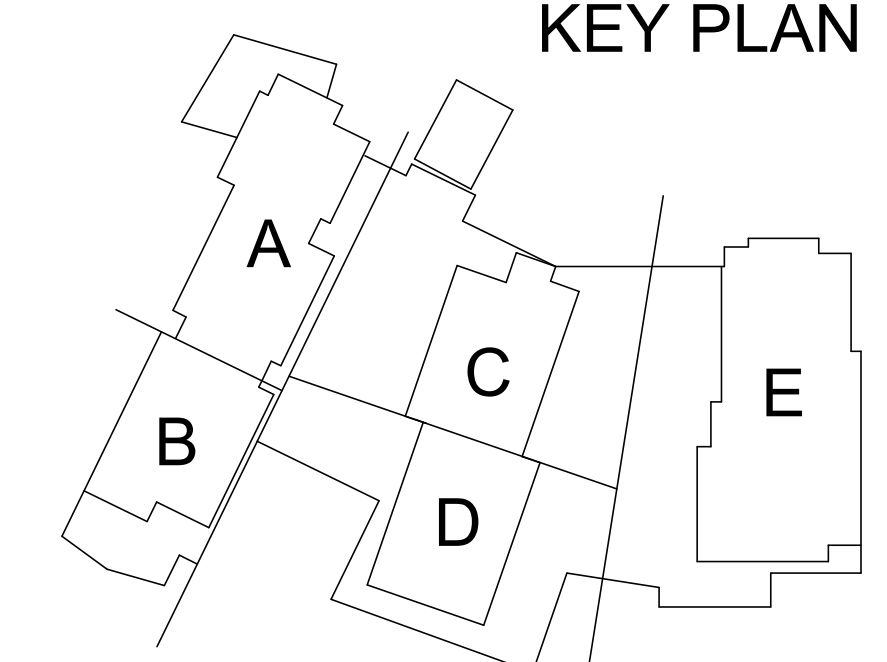
PROJ. NO.	117033.00
DRAWN:	OZ
CHECKED:	
APPROVED:	
DATE:	2021-12-17
REVISIONS:	
1	11/12/21 BUILDING PERMIT RESUBMITTAL
4	07/08/22 ADDENDUM #1
7	08/12/22 ADDENDUM #2
11	11/18/22 ADDENDUM #3
ASB 018	04/15/24 REMOVE PLAZA/LIFT

ISSUED FOR:  
 GMP / BUILDING PERMIT RESUBMITTAL  
 SHEET TITLE:  
 GARAGE FLOOR PLAN - OVERALL  
 SCALE:  
 As Indicated  
 SHEET NUMBER  
**A-100**

4/15/2024 10:48:37 AM  
 BM 360/117033.00 One River Run/117033\_Kinrad\_A21\_Centaur.nt

**1 GARAGE FLOOR PLAN - OVERALL**  
 1/16" = 1'-0"

FLOOR PLAN LEGEND	
[Hatched Box]	FUTURE TENANT SPACE (UNDER SEPARATE PERMIT)



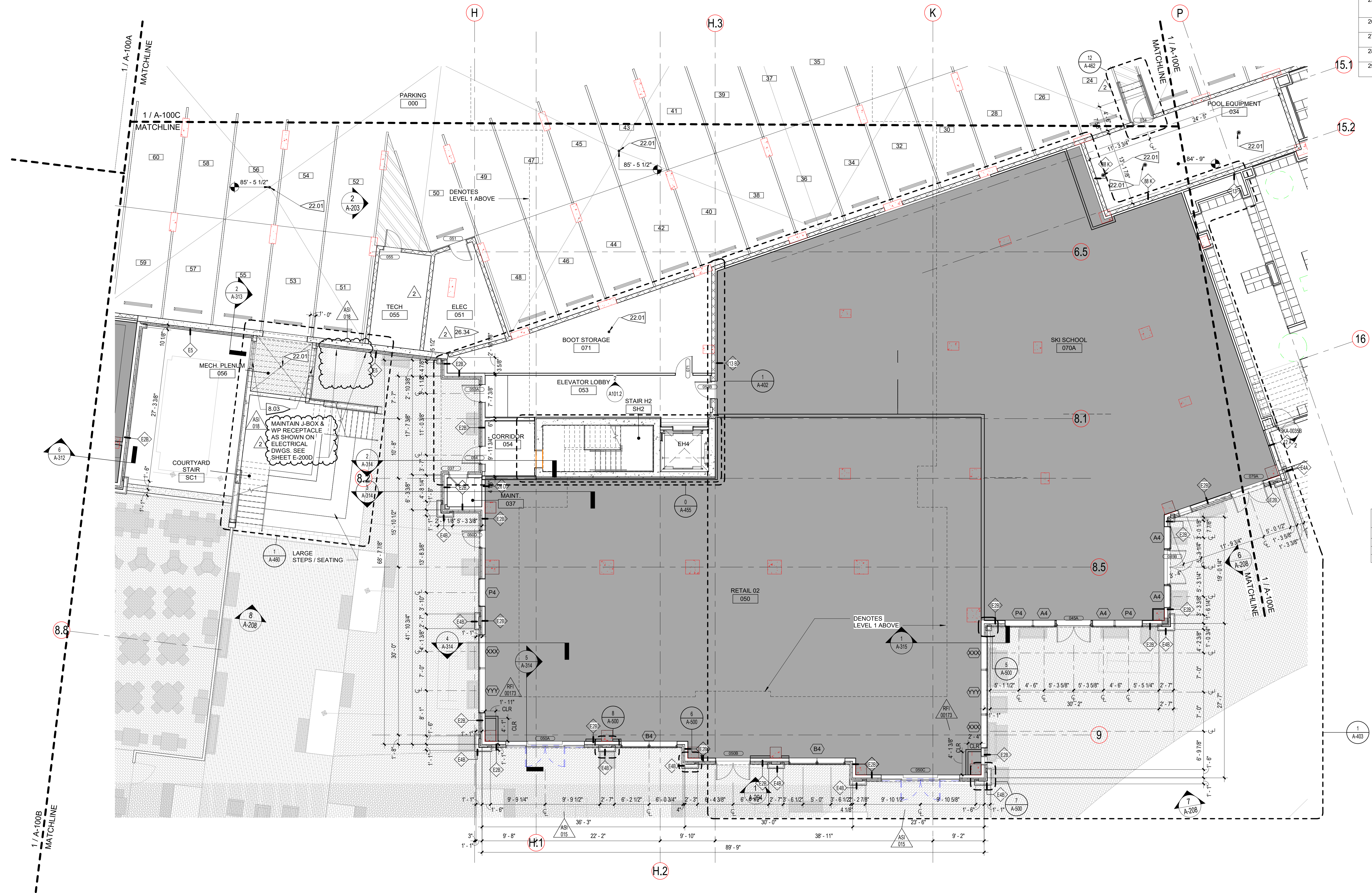




3003 Larimer Street  
Denver, Colorado 80205  
phone 303.861.5704  
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- FLOOR PLAN GENERAL NOTES**
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  - 2 EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
  - 3 INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED.
  - 4 SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE 23C U.N.O.
  - 5 PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
  - 6 MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
  - 7 WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
  - 8 WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION.
  - 9 WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
  - 10 PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
  - 11 THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
  - 12 FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
  - 13 SEE SHEET G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
  - 14 SEE A-600 SERIES FOR DOOR SCHEDULES.
  - 15 SEE A-700 SERIES SHEETS FOR UNIT PLANS.
  - 16 RE: A-400 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE, RE: FINISH SCHEDULE.
  - 17 SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES, RE: MEP & TECHNOLOGY DRAWINGS FOR TV LOCATIONS.
  - 18 EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM).
  - 19 ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O.
  - 20 INTERIOR PARTITIONS ARE TYPE 23 U.N.O.
  - 21 REF A-412.5 FOR TYP. ELEVATOR CAB DESIGN AND DOCUMENTATION.
  - 22 RE: G-501 FOR ALL EXTERIOR PARTITION TYPES.
  - 23 PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION. RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
  - 24 USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
  - 25 PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SBC 704 AND 705 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACOUSTICAL SEPARATIONS.
  - 26 CONTRACTOR TO WRAP GYP. BD BEHIND EQUIPMENT OR CONTROLS THAT ARE LOCATED IN RATED WALLS TO MAINTAIN FIRE RATING.
  - 27 ALL STEEL COLUMNS TO BE GYP. BD WRAPPED AND FIRE RATED, RE G-500 SERIES SHEETS.
  - 28 PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA.
  - 29 WHEREVER "ALIGN" NOTE IS INDICATED, ALIGN TO FINISH FACE TO CREATE A SMOOTH TRANSITION.

**ONE RIVER RUN**  
75 HUNKI DORI CT.  
KEYSTONE, CO 80435

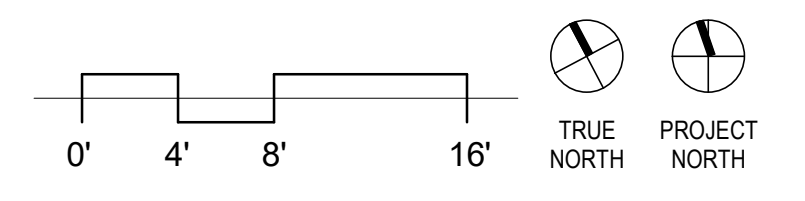
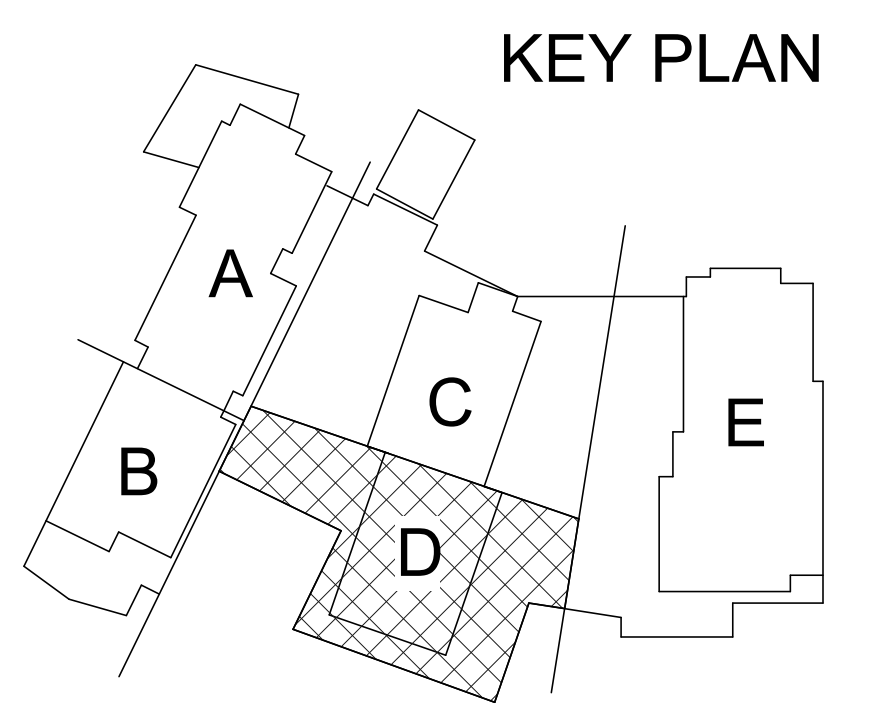


**PROJECT KEYNOTES**

NO.	DESCRIPTION
8.03	MECH. LOUVER: RE: MECH FOR SIZES. RE: A-625 FOR FACADE DETAILS
22.01	FLOOR DRAIN, RE: PLBG
26.34	ELECTRICAL PANELS & EQUIPMENT, RE: ELEC

**FLOOR PLAN LEGEND**

	FUTURE TENANT SPACE (UNDER SEPARATE PERMIT)
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**1 GARAGE FLOOR PLAN - AREA D**  
1/8" = 1'-0"

PROJ. NO. 117033.00  
DRAWN: OZ  
CHECKED: Checker  
APPROVED: Approver  
DATE: 2021-12-17

REVISIONS:

1	11/12/21	BUILDING PERMIT RESUBMITTAL
7	11/18/22	ADDENDUM #3
RFI 00173	01/18/23	GARAGE PUBLIC AREA MECH. QUESTIONS
RFI 00227	02/01/23	DOOR HARDWARE
AS1 015	04/12/24	SLIDING DOOR @ TL
AS1 018	04/15/24	REMOVE PLAZA LIFT

© OZ ARCHITECTURE

**ONE RIVER RUN**

ISSUED FOR:  
GMP / BUILDING PERMIT RESUBMITTAL

SHEET TITLE:  
GARAGE FLOOR PLAN - AREA D

SCALE: 1/8" = 1'-0"  
SHEET NUMBER  
**A-100D**





3003 Larimer Street  
Denver, Colorado 80205  
phone 303.861.5704  
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**ONE RIVER RUN**  
75 HUNKI DORI CT.  
KEYSTONE, CO 80435

PROJ. NO: 117033.00  
DRAWN: OZ  
CHECKED:  
APPROVED:  
DATE: 2021-12-17  
REVISIONS:  
11/12/21 BUILDING PERMIT RESUBMITTAL  
R1 0041 3/8/22 PS BATH ACC  
5 08/12/22 ADDENDUM #2  
11/18/22 ADDENDUM #3  
AS1-017 03/22/24 HOTEL CORRIDOR UPDATES  
AS1 018 04/15/24 REMOVE PLAZA LIGHT  
© OZ ARCHITECTURE

ONE RIVER RUN  
ISSUED FOR:  
GMP / BUILDING PERMIT RESUBMITTAL  
SHEET TITLE:  
LEVEL 1 FLOOR PLAN - OVERALL  
SCALE: 1/16" = 1'-0"  
SHEET NUMBER  
**A-101**

NO.	DESCRIPTION
8.04	AREA WELL, RE: STRUCT
10.01	GAS FIREPLACE
10.15	SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING"
22.14	FIRE DEPARTMENT CONNECTION RE: PLUMBING. COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT.

FLOOR PLAN GENERAL NOTES	
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2	EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
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4	SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 23C, U.N.O.
5	PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
6	MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
7	WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
8	WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION.
9	WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10	PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
11	THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
12	FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13	RE: G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14	RE: A-600 SERIES FOR DOOR SCHEDULE.
15	RE: A-700 SERIES SHEETS FOR UNIT PLANS.
16	RE: A-400-2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE.
17	SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES.
18	EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM)

FLOOR PLAN GENERAL NOTES	
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21	RE: A-470 SERIES FOR TYP. ELEVATOR INTERIOR CAB DESIGN AND DOCUMENTATION
22	RE: G-501 FOR ALL EXTERIOR PARTITION TYPES
23	PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION, RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
24	USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
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31	REFER TO SLAB PLAN FOR LOCATION OF DRAIN-THRU PLANTER WALLS AT COURTYARD/PLAZA AND STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION



**1 LEVEL 1 FLOOR PLAN - OVERALL**  
1/16" = 1'-0"

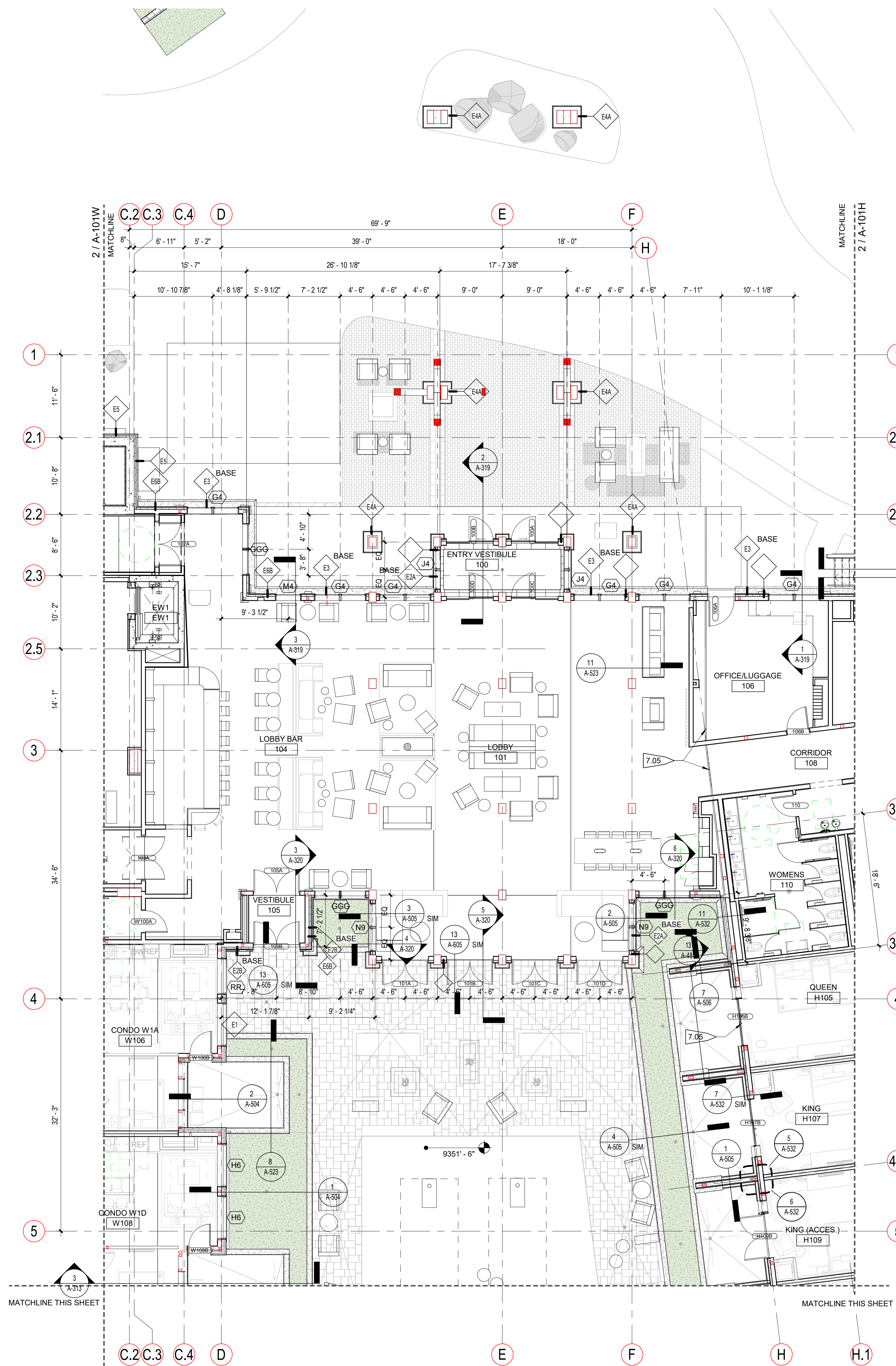
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PROJECT KEYNOTES	
NO.	DESCRIPTION
7.05	EXPANSION JOINT. RE. SHEET A-532

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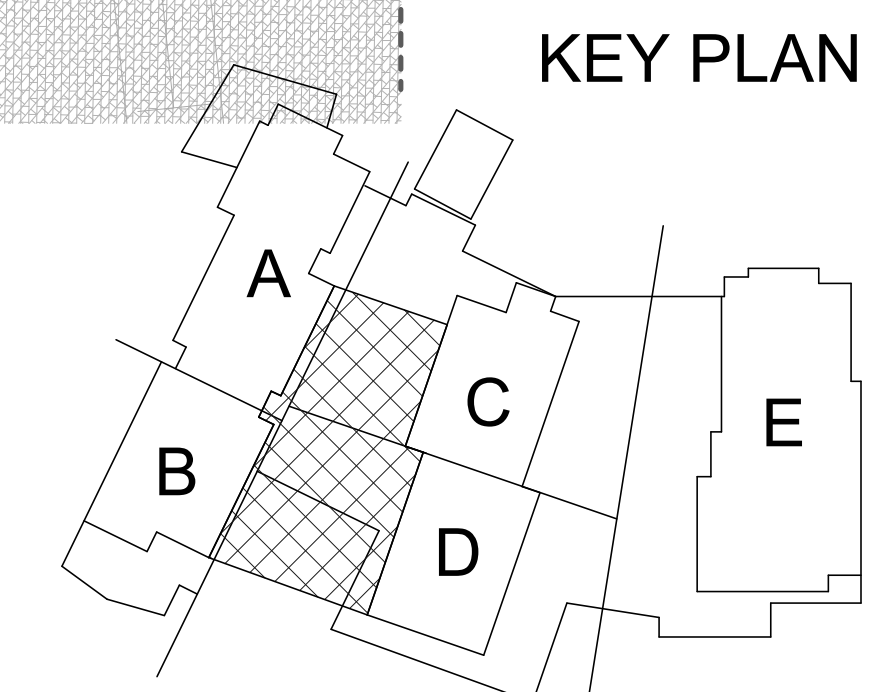
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27	ALL STEEL COLUMNS TO BE GYP. BD WRAPPED AND FIRE RATED. RE: G-500 SERIES SHEETS.
28	PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA.
29	PROVIDE BLOCKING TO WALLS FOR MOUNTING OF GRAB BARS / FUTURE GRAB BARS AS NOTED. SHOWER SEATS / FUTURE SHOWER SEATS AS NOTED. WALL MOUNTED ELEMENTS INCLUDING BATHROOM ACCESSORIES. RE: G-401 AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
30	REFER TO SLAB PLANS FOR INFORMATION AND DIMENSIONS RE: SLAB PENETRATIONS.
31	REFER TO SLAB PLAN FOR LOCATION OF DRAIN-THRU PLANTER WALLS AT COURTYARD PLAZA AND STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION.



**1 LEVEL 1 COURTYARD 01**  
1/8" = 1'-0"



**2 LEVEL 1 COURTYARD 02**  
1/8" = 1'-0"



**KEY PLAN**



**ONE RIVER RUN**  
75 HUNKI DORI CT.  
KEYSTONE, CO 80435

PROJ. NO: 117033.00  
DRAWN: Author  
CHECKED: Checker  
APPROVED: Approver  
DATE: 2021-12-17  
REVISIONS:  
11/18/22 ADDENDUM #3  
04/15/24 REMOVE PLAZA LIFT

© OZ ARCHITECTURE

ONE RIVER RUN  
ISSUED FOR:  
GMP / BUILDING PERMIT  
RESUBMITTAL  
SHEET TITLE:  
LEVEL 1 FLOOR PLAN -  
COURTYARD  
SCALE: 1/8" = 1'-0"  
SHEET NUMBER  
**A-101C**



PROJECT KEYNOTES	
NO.	DESCRIPTION
8.03	MECH. LOUVER; RE: MECH FOR SIZES, RE: A-625 FOR FACADE DETAILS
22.01	FLOOR DRAIN; RE: PLBG
26.17	STEP LIGHT RE: LIGHTING

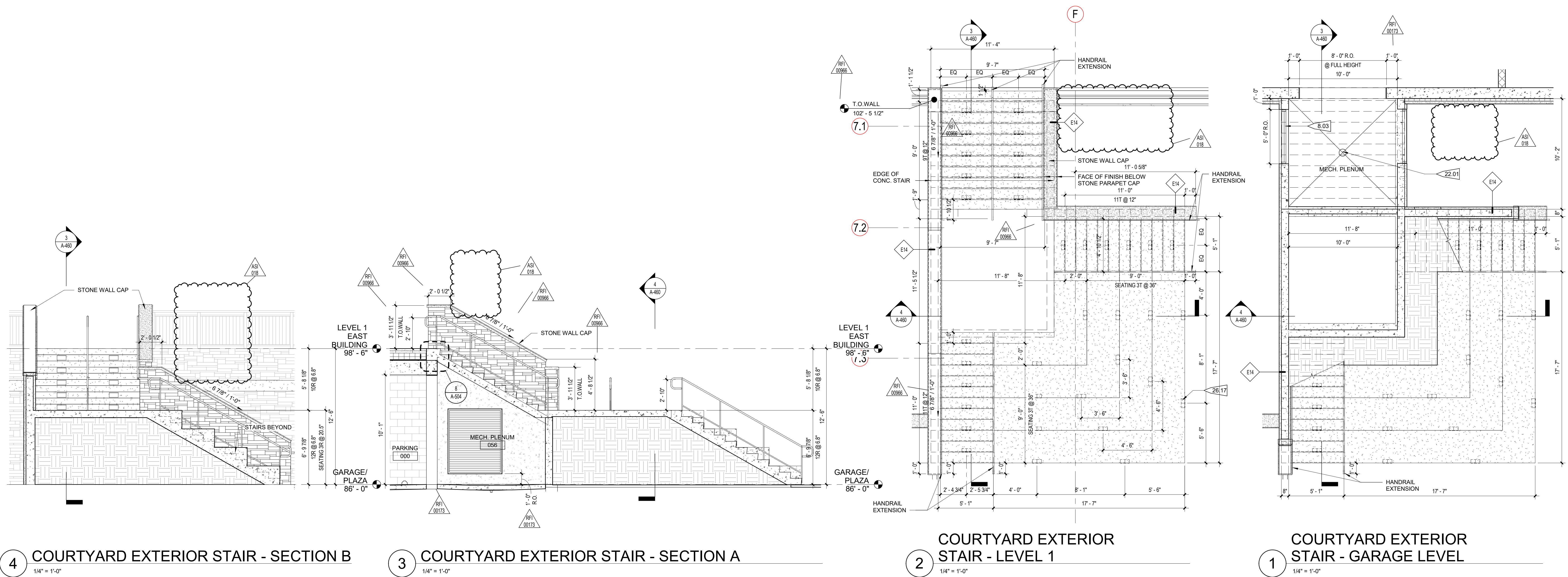


3003 Larimer Street  
Denver, Colorado 80205  
phone 303.861.5704  
www.ozarch.com

**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

PROJ. NO. 117033.00  
DRAWN: OZ  
CHECKED: Checker  
APPROVED: Approver  
DATE: 2021-12-17  
REVISIONS:  
3 12/17/21 GMP BUILDING PERMIT RESUBMITTAL  
7 11/18/22 ADDENDUM #3  
APPROVED: Approver  
RFP 00986 12/19/23 SC1 COURTYARD STAIRS  
AS3 018 04/15/24 REMOVE PLAZA LIFT  
© OZ ARCHITECTURE

ONE RIVER RUN  
ISSUED FOR:  
GMP / BUILDING PERMIT RESUBMITTAL  
SHEET TITLE:  
STAIR/ELEVATOR EXTERIOR PLANS & SECTIONS  
SCALE: 1/4" = 1'-0"  
SHEET NUMBER  
**A-460**





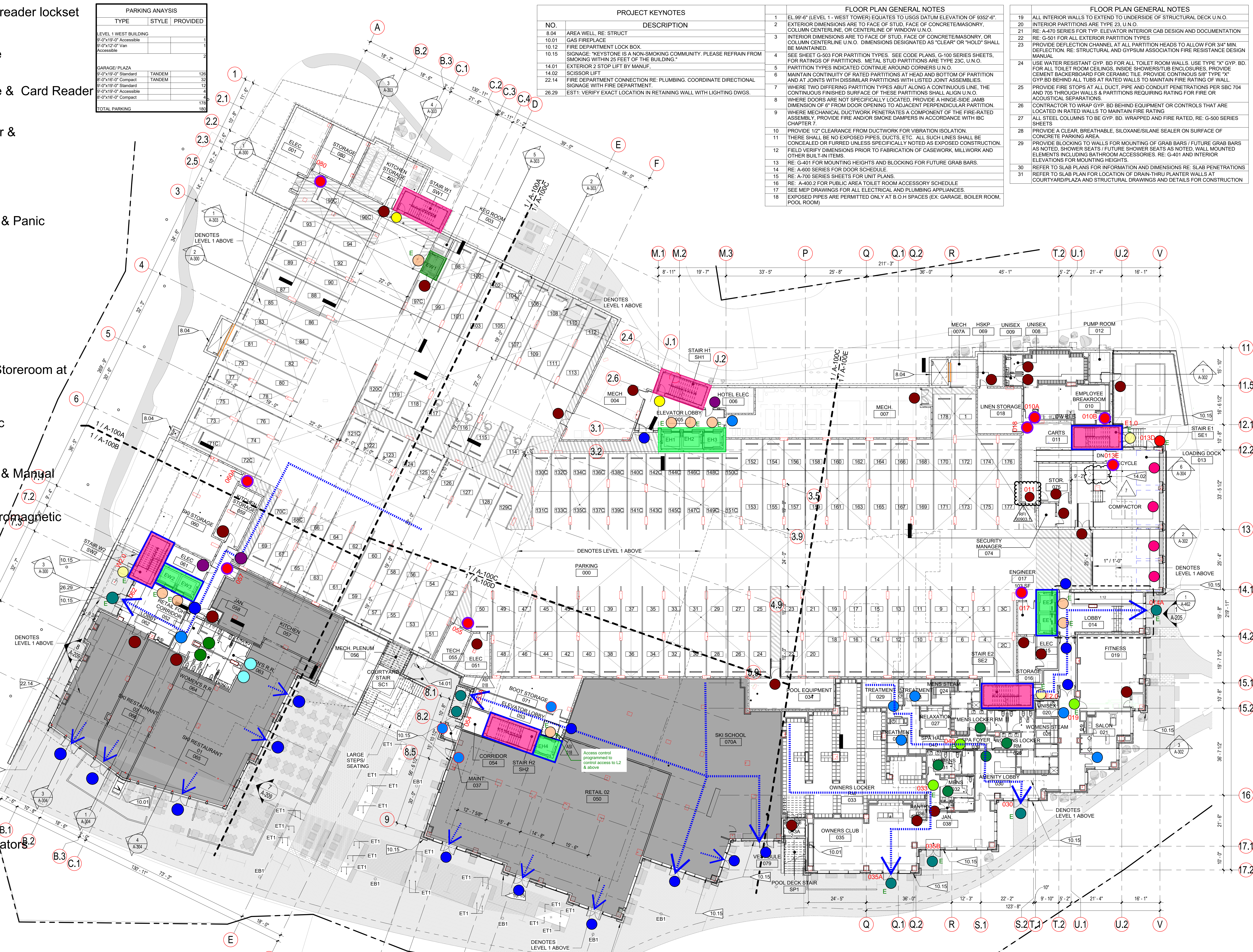
- = Service BOH Access - Card reader lockset
- = Stair Door w/ Panic Hardware
- = Stair Door w/ Panic Hardware & Card Reader
- = Service BOH w/ Card Reader & Electromechanical lock
- = Service BOH w/ Manual lock
- = Service BOH w/ Manual lock & Panic Hardware
- = FOH w/ Manual lock & Panic Hardware
- = FOH w/ Manual Mortise lock
- = FOH w/ Manual Mortise (or Storeroom at Retail locations) lock
- = FOH w/ Card Reader & Panic Hardware
- = FOH w/ Manual Mortise lock & Manual Mortise Deadlock
- = FOH w/ Card Reader & Electromagnetic Lock
- = FOH w/ No Lock
- = Elevator w/ Card Reader
- = Overhead Garage door: Internal Sensor on interior side,
- = Exit Discharge Stairs
- = Stairs
- = Elevators
- = Exit Discharge Elevators
- = Service Elevators

PARKING ANALYSIS		
TYPE	STYLE	PROVIDED
LEVEL 1 WEST BUILDING		
9'-0"x19'-0" Accessible	TANDEM	1
9'-0"x12'-0" Van Accessible		2
GARAGE/ PLAZA		
9'-0"x19'-0" Standard	TANDEM	126
9'-0"x16'-0" Compact		32
9'-0"x19'-0" Standard		12
9'-0"x19'-0" Accessible		4
9'-0"x16'-0" Compact		174
TOTAL PARKING		180

PROJECT KEYNOTES	
NO.	DESCRIPTION
8.04	AREA WELL, RE. STRUCT
10.01	GAS FIREPLACE
10.12	FIRE DEPARTMENT LOCK BOX.
10.15	SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING."
14.01	EXTERIOR 2 STOP LIFT BY MANUF.
14.02	SCISSOR LIFT
22.14	FIRE DEPARTMENT CONNECTION RE: PLUMBING. COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT
26.29	EST1: VERIFY EXACT LOCATION IN RETAINING WALL WITH LIGHTING DWGS.

FLOOR PLAN GENERAL NOTES	
1	EL 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO USGS DATUM ELEVATION OF 9352'-6"
2	EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
3	INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLDY" SHALL BE MAINTAINED.
4	SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 23C, U.N.O.
5	PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
6	MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
7	WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
8	WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION.
9	WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10	PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
11	THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
12	FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13	RE: G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14	RE: A-600 SERIES FOR DOOR SCHEDULE.
15	RE: A-700 SERIES SHEETS FOR UNIT PLANS.
16	RE: A-400-2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE
17	SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES.
18	EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM)

FLOOR PLAN GENERAL NOTES	
19	ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O.
20	INTERIOR PARTITIONS ARE TYPE 23, U.N.O.
21	RE: A-470 SERIES FOR TYP. ELEVATOR INTERIOR CAB DESIGN AND DOCUMENTATION
22	RE: G-501 FOR ALL EXTERIOR PARTITION TYPES
23	PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION, RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
24	USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
25	PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SEC 704 AND 705 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACoustical SEPARATIONS.
26	CONTRACTOR TO WRAP GYP. BD BEHIND EQUIPMENT OR CONTROLS THAT ARE LOCATED IN RATED WALLS TO MAINTAIN FIRE RATING
27	ALL STEEL COLUMNS TO BE GYP. BD WRAPPED AND FIRE RATED. RE: G-500 SERIES SHEETS
28	PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA
29	PROVIDE BLOCKING TO WALLS FOR MOUNTING OF GRAB BARS / FUTURE GRAB BARS AS NOTED. SHOWER SEATS / FUTURE SHOWER SEATS AS NOTED. WALL MOUNTED ELEMENTS INCLUDING BATHROOM ACCESSORIES, RE: G-401 AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
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31	REFER TO SLAB PLAN FOR LOCATION OF DRAIN/THRU PLANTER WALLS AT COURTYARD/PLAZA AND STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION



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STATE OF COLORADO  
 REBECCA STONE  
 B-3452  
 1/18/23  
 LICENSED ARCHITECT

**ONE RIVER RUN**  
 75 HUNKI DORI CT.  
 KEYSTONE, CO 80435

PROJ. NO: 117033.00  
 DRAWN: OZ  
 CHECKED:  
 APPROVED:  
 DATE: 2021-12-17

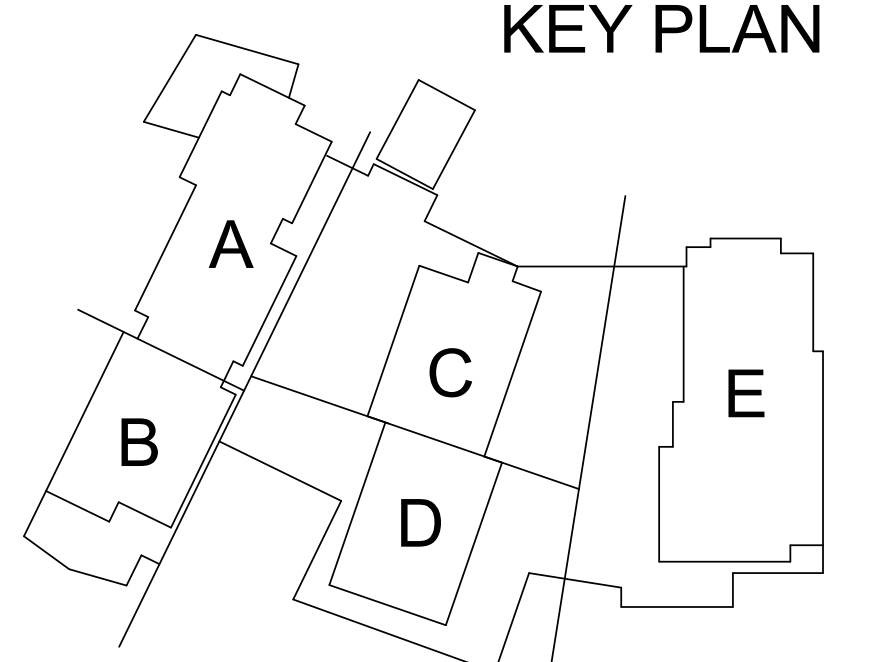
REVISIONS:  
 11/18/21 BUILDING PERMIT SUBMITTAL  
 2/2/22 ASI-01  
 07/08/22 ADDENDUM #1  
 08/02/22 ADDENDUM #2  
 11/18/22 ADDENDUM #3

ONE RIVER RUN  
 ISSUED FOR:  
 GMP / BUILDING PERMIT RESUBMITTAL  
 SHEET TITLE:  
 GARAGE FLOOR PLAN - OVERALL  
 SCALE: As Indicated  
 SHEET NUMBER  
**A-100**

\*E DENOTES COMMON DOORS WITH HARDWIRED CARD READERS

**1 GARAGE FLOOR PLAN - OVERALL**  
 1/16" = 1'-0"

**FLOOR PLAN LEGEND**  
 FUTURE TENANT SPACE (UNDER SEPARATE PERMIT)





- = Service BOH Access - Card reader lockset
- = Stair Door w/ Panic Hardware
- = Stair Door w/ Panic Hardware & Card Reader
- = Service BOH w/ Card Reader & Electromechanical lock
- = Service BOH w/ Manual lock
- = Service BOH w/ No Lock
- = Service BOH w/ Manual lock & Panic Hardware
- = FOH w/ Manual lock & Panic Hardware
- = FOH w/ Manual Mortise lock
- = FOH w/ Manual Mortise (or Storeroom at Retail locations) lock
- = FOH w/ Card Reader & Panic Hardware
- = FOH w/ Manual Mortise lock & Manual Mortise Deadlock
- = FOH w/ Card Reader & Electromagnetic Lock
- = FOH w/ No Lock
- = Elevator w/ Card Reader
- = Condo Owner/Hotel Access - Card reader lockset
- = Condo Owner - Manual lock and Deadlock
- = Hotel Guest Access - Communicating Lock & 2 Deadbolts (H108C,H115C)
- = Exit Discharge Stairs
- = Stairs
- = Elevators
- = Exit Discharge Elevators
- = Exit Discharge Service Elevators
- = Gates

\*E DENOTES COMMON DOORS WITH HARDWIRED CARD READERS  
 ALL UNIT & GUESTROOMS DOORS TO BE WIRELESS CARD READERS

Per OZ review and follow up coordination with ownership, all pool gates to remain as currently designed & shown on drawings

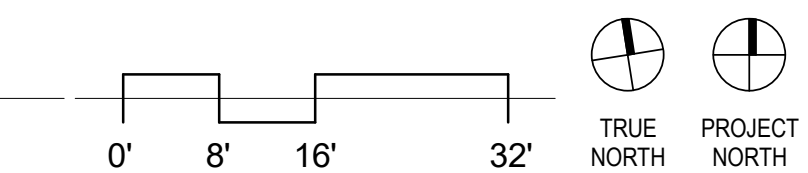
PROJECT KEYNOTES	
NO.	DESCRIPTION
8.04	AREA WELL, RE: STRUCT
10.10	GAS FIREPLACE
10.15	SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING."
22.14	FIRE DEPARTMENT CONNECTION RE: PLUMBING. COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT.

FLOOR PLAN GENERAL NOTES	
1	EL 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO USGS DATUM ELEVATION OF 9352'-6"
2	EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
3	INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLDY" SHALL BE MAINTAINED.
4	SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 23C, U.N.O.
5	PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
6	MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
7	WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
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9	WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10	PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
11	THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
12	FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13	RE: G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14	RE: A-600 SERIES FOR DOOR SCHEDULE.
15	RE: A-700 SERIES SHEETS FOR UNIT PLANS.
16	RE: A-400.2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE.
17	SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES.
18	EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM)

FLOOR PLAN GENERAL NOTES	
19	ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O.
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21	RE: A-470 SERIES FOR TYP. ELEVATOR INTERIOR CAB DESIGN AND DOCUMENTATION
22	RE: G-501 FOR ALL EXTERIOR PARTITION TYPES
23	PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION. RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
24	USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
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1 LEVEL 1 FLOOR PLAN - OVERALL  
 1/16" = 1'-0"



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STATE OF COLORADO  
 REBECCA STONE  
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 1/18/23  
 LICENSED ARCHITECT

**ONE RIVER RUN**  
 75 HUNKI DORI CT.  
 KEYSTONE, CO 80435

PROJ. NO: 117033.00  
 DRAWN: OZ  
 CHECKED:  
 APPROVED:  
 DATE: 2021-12-17

REVISIONS:

1	11/2/21	BUILDING PERMIT RESUBMITTAL
2	08/12/22	ADDENDUM #2
3	11/18/22	ADDENDUM #3

© OZ ARCHITECTURE

ONE RIVER RUN  
 ISSUED FOR:  
 GMP / BUILDING PERMIT RESUBMITTAL  
 SHEET TITLE:  
 LEVEL 1 FLOOR PLAN - OVERALL  
 SCALE: 1/16" = 1'-0"  
 SHEET NUMBER  
**A-101**



### **Garage Level 0 - REQUIRED CHANGES**

- 1.1 Remove ADA Lift (Keynote 14.01) and associated structural infrastructure. Maintain J-BOX & receptacle as shown on elec. drawing.
- 1.2 Change hardware on Door 053A & 054 so that this exterior door remains unlocked (no card reader) at all times.
- 1.3 Add Accessible Route signage on exterior wall adjacent to Door 053A.
- 1.4 Add Accessible Route signage on interior wall adjacent to Elevator EH4.
- 1.5 Change Elevator control at EH4 so that this elevator is available for public use from L0 to L1 (only) at all times; card reader may remain to control access to L2 and above.

### **POSSIBLE CHANGES (Owner to advise)**

- 1.6 Change hardware on door to Boot Storage 071 as/if directed by Owner.
- 1.7 Change hardware on door to Ski School 053B as/if directed by Owner and future tenant (Vail Resorts).

### **Hotel Level 1 - REQUIRED CHANGES**

- 2.1 Change Elevator control at EH4 so that this elevator is available for public use from L1 to L0 (only) at all times; card reader may remain to control access to L2 and above.
- 2.2 Add Accessible Route signage on interior wall adjacent to Elevator EH4
- 2.3 Change hardware on Door H100B so that this exterior door remains unlocked (no card reader) at all times.
- 2.4 Add Accessible Route signage on exterior wall adjacent to Door H100B
- 2.5 Remove ADA Lift (Keynote 14.01) and associated structural infrastructure. (Same as Item 1 above)
- 2.6 Change handrail/guardrail to continuous where ADA Lift has been removed (Add approximately 4 L.F.)
- 2.7 Add Accessible Route signage on exterior partial height wall adjacent to top of Monumental stair.

**NOTE:** No changes required to Door H100C or Pool Gate 1PB specifically because these openings are not on a required path of egress.

This will allow operator to limit access to the Pool Deck area to Guests Only by way of a card reader on the inside of Door H100C.

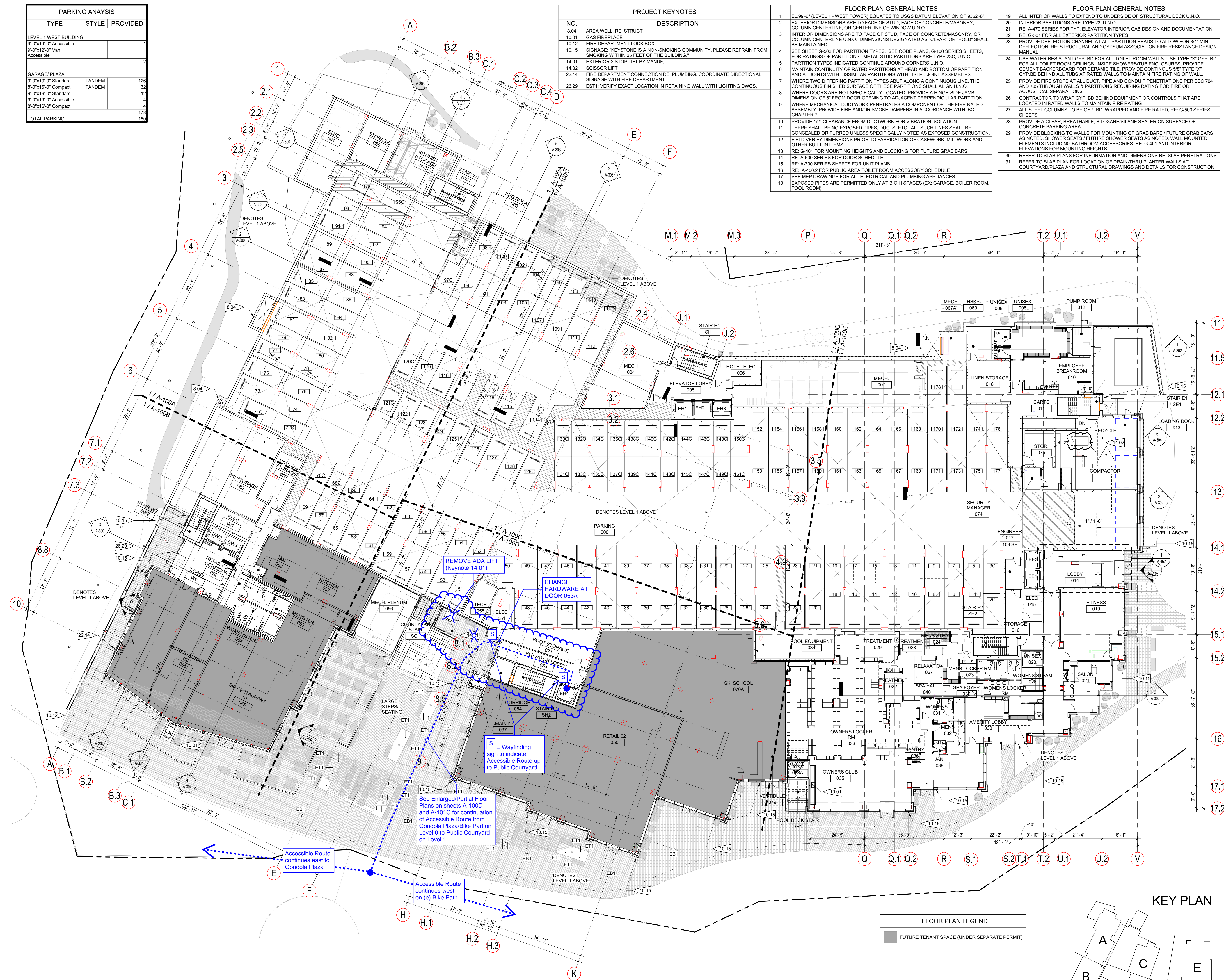


PARKING ANALYSIS		
TYPE	STYLE	PROVIDED
LEVEL 1 WEST BUILDING		
9'-0"x19'-0" Standard Accessible		1
9'-0"x12'-0" Van Accessible		2
GARAGE/ PLAZA		
9'-0"x19'-0" Standard	TANDEM	126
8'-0"x16'-0" Compact	TANDEM	32
9'-0"x19'-0" Standard		12
9'-0"x19'-0" Accessible		4
8'-0"x16'-0" Compact		4
178		
<b>TOTAL PARKING</b>		<b>180</b>

PROJECT KEYNOTES	
NO.	DESCRIPTION
8.04	AREA WELL, RE. STRUCT
10.01	GAS FIREPLACE
10.12	FIRE DEPARTMENT LOCK BOX
10.15	SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING."
14.01	EXTERIOR 2 STOP LIFT BY MANUF.
14.02	SCISSOR LIFT
22.14	FIRE DEPARTMENT CONNECTION RE: PLUMBING, COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT
26.29	EST1: VERIFY EXACT LOCATION IN RETAINING WALL WITH LIGHTING DWGS.

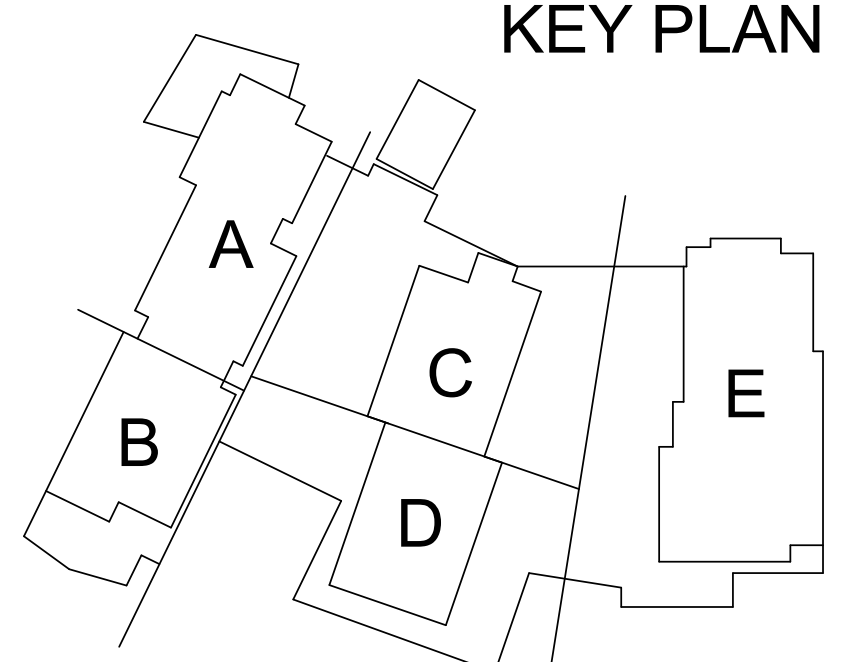
FLOOR PLAN GENERAL NOTES	
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2	EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
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15	RE: A-400.2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE.
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29	PROVIDE BLOCKING TO WALLS FOR MOUNTING OF GRAB BARS / FUTURE GRAB BARS AS NOTED. SHOWER SEATS / FUTURE SHOWER SEATS AS NOTED. WALL MOUNTED ELEMENTS INCLUDING BATHROOM ACCESSORIES, RE: G-401 AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
30	REFER TO SLAB PLANS FOR INFORMATION AND DIMENSIONS RE: SLAB PENETRATIONS
31	REFER TO SLAB PLAN FOR LOCATION OF DRAIN TRAP PLANTER WALLS AT COURTYARD/PLAZA AND STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION



1 GARAGE FLOOR PLAN - OVERALL  
1/16" = 1'-0"

FLOOR PLAN LEGEND	
[Grey Box]	FUTURE TENANT SPACE (UNDER SEPARATE PERMIT)



**OZ ARCHITECTURE**  
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**ONE RIVER RUN**  
75 HUNKI DORI CT.  
KEYSTONE, CO 80435

**Kindred Resort at Keystone**  
OWNER REVIEW  
ASI-017 - Remove Plaza Lift  
OZ Architecture  
2/28/24  
Sheet 1 of 5

PROJ. NO.	117033.00
DRAWN:	OZ
CHECKED:	
APPROVED:	
DATE:	2021-12-17
REVISIONS:	
	11/12/21 BUILDING PERMIT RESUBMITTAL
	2/2/22 ASI-001
	07/08/22 ADDENDUM #1
	08/02/22 ADDENDUM #2
	11/18/22 ADDENDUM #3

ONE RIVER RUN  
ISSUED FOR:  
GMP / BUILDING PERMIT RESUBMITTAL  
SHEET TITLE:  
GARAGE FLOOR PLAN - OVERALL  
SCALE:  
As Indicated  
SHEET NUMBER  
**A-100**





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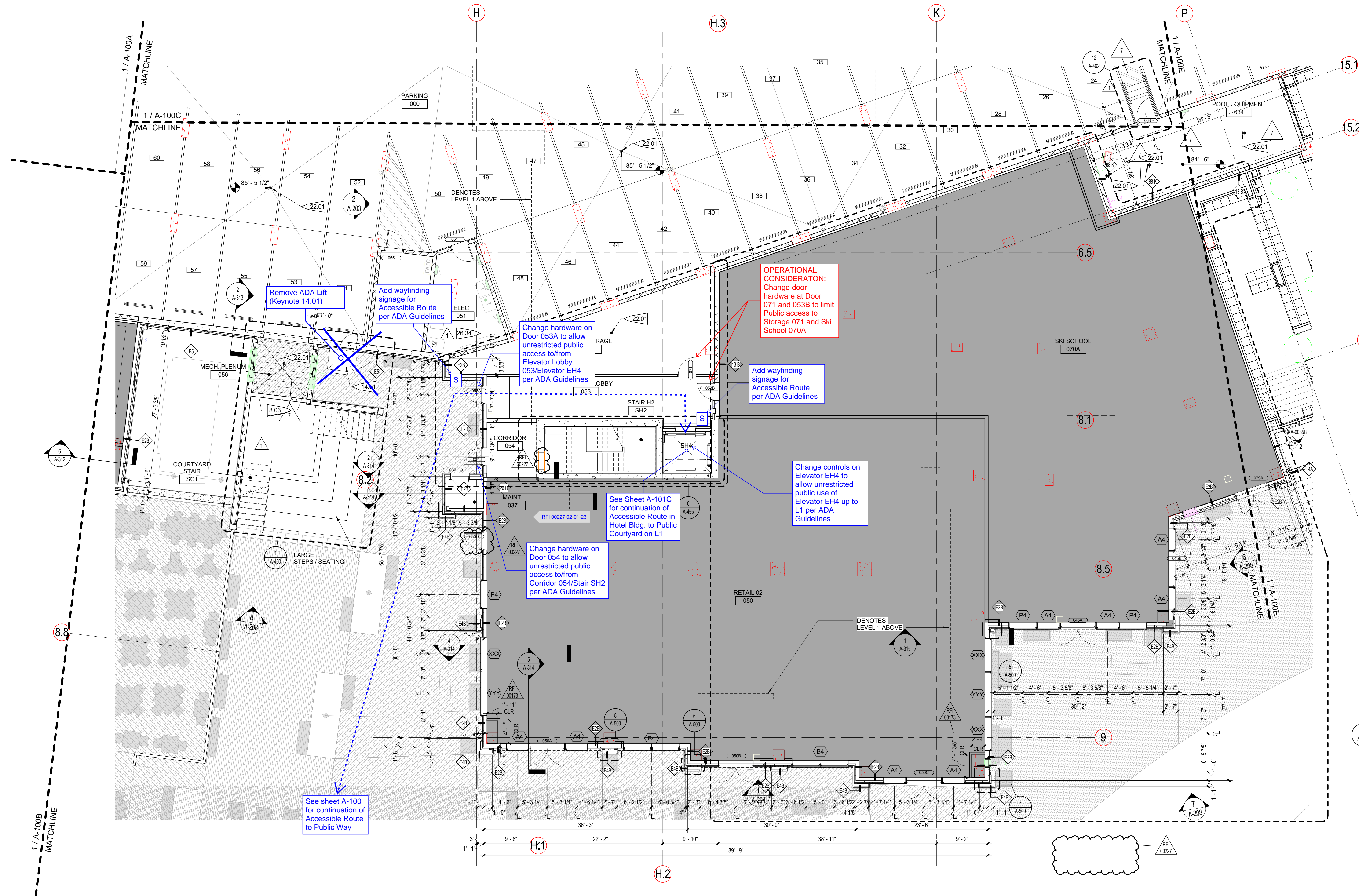
- FLOOR PLAN GENERAL NOTES**
- 1 EL 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO USGS DATUM ELEVATION OF 9352'-6".
  - 2 EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
  - 3 INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED.
  - 4 SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE 23C U.N.O.
  - 5 PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
  - 6 MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
  - 7 WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
  - 8 WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION.
  - 9 WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
  - 10 PROVIDE 12" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
  - 11 THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
  - 12 FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
  - 13 SEE SHEET G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
  - 14 SEE A-600 SERIES FOR DOOR SCHEDULES.
  - 15 SEE A-700 SERIES SHEETS FOR UNIT PLANS.
  - 16 RE: A-400 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE, RE: FINISH SCHEDULE.
  - 17 SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES, RE: MEP & TECHNOLOGY DRAWINGS FOR TV LOCATIONS.
  - 18 EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM).
  - 19 ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O.
  - 20 INTERIOR PARTITIONS ARE TYPE 23 U.N.O.
  - 21 REF A-412.5 FOR TYP. ELEVATOR CAB DESIGN AND DOCUMENTATION.
  - 22 RE: G-501 FOR ALL EXTERIOR PARTITION TYPES.
  - 23 PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION. RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
  - 24 USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWERS/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL.
  - 25 PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SBC 704 AND 705 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACoustICAL SEPARATIONS.
  - 26 CONTRACTOR TO WRAP GYP. BD BEHIND EQUIPMENT OR CONTROLS THAT ARE LOCATED IN RATED WALLS TO MAINTAIN FIRE RATING.
  - 27 ALL STEEL COLUMNS TO BE GYP. BD WRAPPED AND FIRE RATED, RE G-500 SERIES SHEETS.
  - 28 PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA.
  - 29 WHEREVER "ALIGN" NOTE IS INDICATED, ALIGN TO FINISH FACE TO CREATE A SMOOTH TRANSITION.

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**Kindred Resort at Keystone**  
**OWNER REVIEW**  
ASI-017 - Remove Plaza Lift  
OZ Architecture  
2/28/24  
Sheet 2 of 5

PROJ. NO: 117033.00  
DRAWN: OZ  
CHECKED: Checker  
APPROVED: Approver  
DATE: 2021-12-17  
REVISIONS:  
1 11/12/21 BUILDING PERMIT RESUBMITTAL  
7 11/18/22 ADDENDUM #3 GARAGE PUBLIC AREA MECH. QUESTIONS  
RFI 00227 02/01/23 DOOR HARDWARE...

ONE RIVER RUN  
ISSUED FOR:  
SHEET TITLE:  
GARAGE FLOOR PLAN - AREA D  
SCALE: 1/8" = 1'-0"  
SHEET NUMBER  
**A-100D**

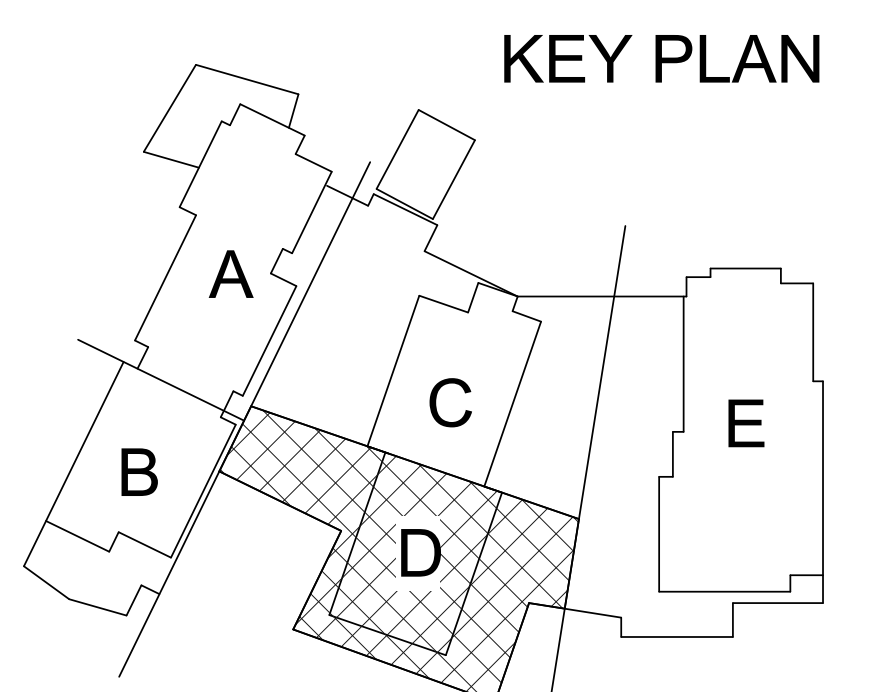


**PROJECT KEYNOTES**

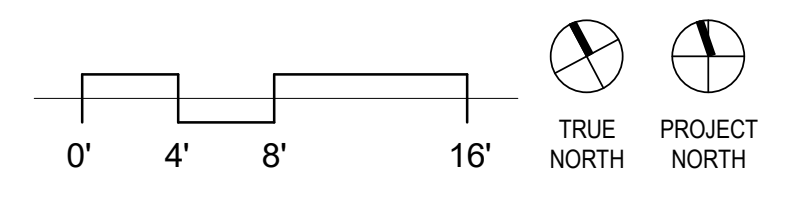
NO.	DESCRIPTION
8.03	MECH. LOUVER, RE: MECH FOR SIZES, RE: A-625 FOR FACADE DETAILS
14.01	EXTERIOR 2 STOP LIFT BY MANUF.
22.01	FLOOR DRAIN, RE: PLBG
26.34	ELECTRICAL PANELS & EQUIPMENT, RE: ELEC

**FLOOR PLAN LEGEND**

	FUTURE TENANT SPACE (UNDER SEPARATE PERMIT)
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**1 GARAGE FLOOR PLAN - AREA D**  
1/8" = 1'-0"



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PROJECT KEYNOTES	
NO.	DESCRIPTION
8.03	MECH. LOUVER, RE: MECH FOR SIZES, RE: A-625 FOR FACADE DETAILS
14.01	EXTERIOR 2 STOP LIFT BY MANUF.
22.01	FLOOR DRAIN, RE: PLBG
26.17	STEP LIGHT RE: LIGHTING



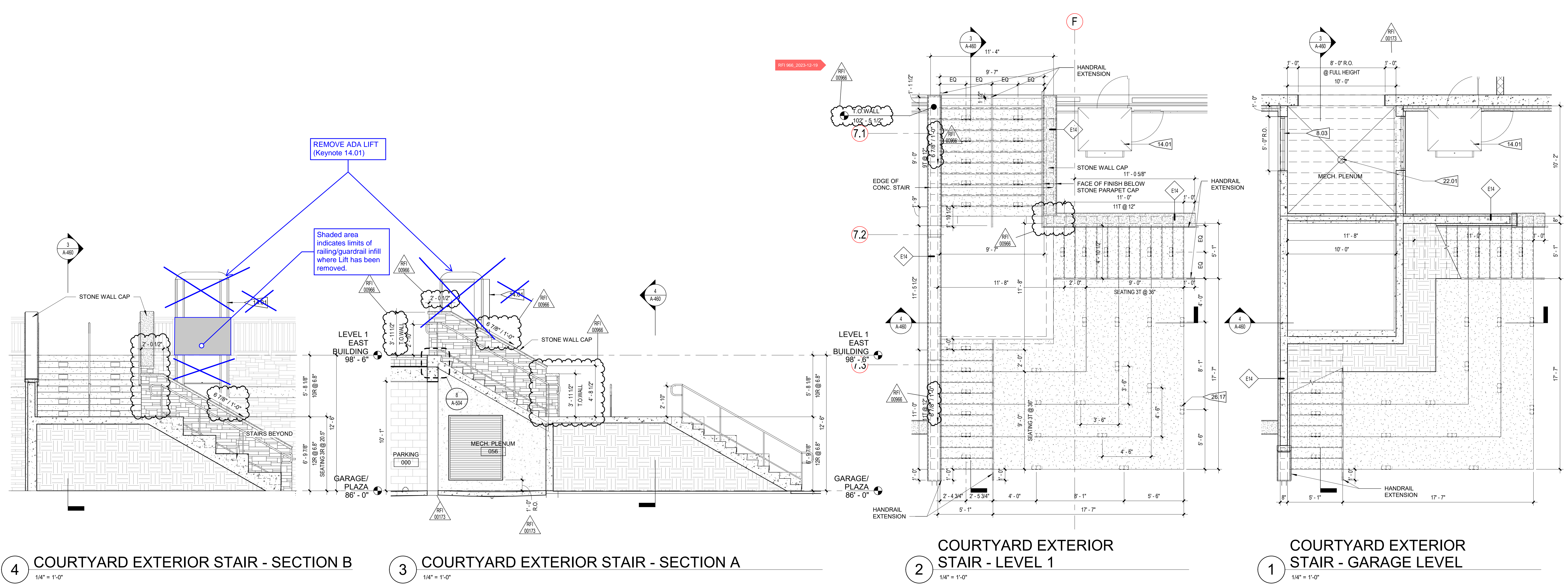
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ASI-017 - Remove Plaza Lift  
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Sheet 5 of 5

PROJ. NO: 117033.00  
DRAWN: OZ  
CHECKED: Checker  
APPROVED: Approver  
DATE: 2021-12-17  
REVISIONS:  
12/17/21 GMP BUILDING PERMIT RESUBMITTAL  
11/18/22 ADDENDUM #3  
01/18/23 GARAGE PUBLIC AREA MECH QUESTIONS  
01/09/23 SC1 COURTYARD STAIR

**ONE RIVER RUN**  
ISSUED FOR: GMP / BUILDING PERMIT RESUBMITTAL  
SHEET TITLE: STAIR/ELEVATOR EXTERIOR PLANS & SECTIONS  
SCALE: 1/4" = 1'-0"  
SHEET NUMBER  
**A-460**



**4** COURTYARD EXTERIOR STAIR - SECTION B  
1/4" = 1'-0"

**3** COURTYARD EXTERIOR STAIR - SECTION A  
1/4" = 1'-0"

**2** COURTYARD EXTERIOR STAIR - LEVEL 1  
1/4" = 1'-0"

**1** COURTYARD EXTERIOR STAIR - GARAGE LEVEL  
1/4" = 1'-0"

12/19/2023 3:20:20 PM BIM 360://117033.00 One River Run/117033\_Kindred\_A21\_Central.rvt