



RECORD COPY of ASI-021, included as
4 of 6 ASIs for reference with SPA-03

PROJECT NAME:	One River Run (Kindred) 75 Hunki Dori Ct. Keystone, CO 80435	ASI #:	021	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> ARCHITECT <input type="checkbox"/> CONSULTANT <input checked="" type="checkbox"/> CONTRACTOR <input type="checkbox"/> FIELD <input type="checkbox"/>
PROJECT #:	117033	DATE OF ISSUANCE:	05/24/2024	
OWNER:	One River Run Acquisition Keystone Investments, LLC 132 West Main Street, Suite D Aspen, CO 81611	ARCHITECT:	OZ Architecture, Inc.	
		TO CONTRACTOR:	PCL Construction Services, Inc	
		CONTRACT FOR:	GMP/Building Permit Resubmittal	
		CONTRACT DATED:	September 23, 2021	

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

DESCRIPTION: This ASI provides updated Civil, Architectural and Structural drawings to coordinate grading and foundation changes between the intersections of Grid 16-T.1 and the intersection of Grids 14.1-V at the exterior walls of the building. This information was initially issued by the Design Team in response to RFI-01251 on 5/15/2024. A complete copy of the narrative portion of the RFI response is included for reference, and the six (6) revised sheets listed below constitute the full scope of work for this ASI. To follow is a general description of the changes:

- Revise grading between face of building and adjacent paver system walkway, add (2) area well drains piped to storm per updated spot elevations shown on revised Sheet C-108
- Add a 6" tall Type 2 curb at the back side of the pavers that run N-S along Grid V, regrade the resulting swail to drain to adjacent inlet, add (2) area wells connected to adjacent Storm drains within the shallow area well beside the building per revised Civil drawings.
- Change garage foundation at Area F (Area E in A sheets) to provide CIP stem walls on top of the slab from approximately Door 030 east/north to the intersection of Grids 15.2 and V as shown on revised Sheet S-100F; stem wall height varies from 1'-4" to 2'-0" per revised TOW elevations provided on revised Sheet S-100F.
- Add a 1'-4" to 2'-0" tall by 6" wide CIP curb/stem wall to top of existing slab between Grids 15.2 and 15.1 per new detail 8 on Sheet S-505.
- Change base of wall in this area as described above per revised Wall Section detail 1/A-316 and new details 5 & 6/A-536 to integrate waterproofing, foundation insulation, base of wall flashing, etc.

ATTACHMENTS:

Two (2) full size, revised Civil Sheets; C-108, C-502
 Two (2) full size, revised Structural Sheets; S-100F, S-505
 Two (2) full size, revised Architectural Sheets; A-316, A-536

ISSUED BY: Tim Ross, Senior Project Architect

OZ ARCHITECTURE INC.

REQUEST FOR INFORMATION

RFI: RFI-01251 Revision: 0

Project Name: KINDRED RESORT

Project #: 5002104

RFI - SE Corner Grade Bust on Civils vs Architecturals

Kindred Resort @ Keystone
RFI-01251 Revision 0
response issued_05/15/2024

RFI Date	Due Date	Status	Priority (days)	Subcontractor RFI #
4/22/2024	4/25/2024	Open	Urgent	

RFI Participants

Assigned to: Tim Ross OZ Architecture, Inc.
Initiated by: Alia N. Ramirez PCL Construction Services, Inc.
Coordinated by: Alia N. Ramirez PCL Construction Services, Inc.
Answered by: OZ Architecture, Inc.

Question

[Submitted: 4/22/2024 by Alia N. Ramirez, PCL Construction Services, Inc. Rev #0]
 The civil grading plan for the southeast building corners shown on sheet C-108 have a grade bust when comparing to the grade shown on Architecturals. Architectural and structural drawings show the grade in this area as flush with SOG elevation of 86'-0"/9339. The civil grades provided on C-108 has the grade being backfilled above SOG elevation of 86'-0"/9339. All concrete work in this area and wall framing was completed according to the architecturals and structurals.

Architect to advise on how to resolve this grade bust.

Please see attached sheets outlining the grade bust issue.

Reason: Design coordination.

Cost: Potential cost impacts.

Schedule: Impacts to site grading timeline.

Proposed Solution

Answer

Please see revised Civil, Struc and Arch drawings of the revised grading and stem wall addition for the SE corner of East building. See upcoming ASI- 021 for further information.
 Ruth Dejene. OZ Architecture 05/15/2024

Cost impact? Yes - TBD

Schedule impact? Yes - TBD

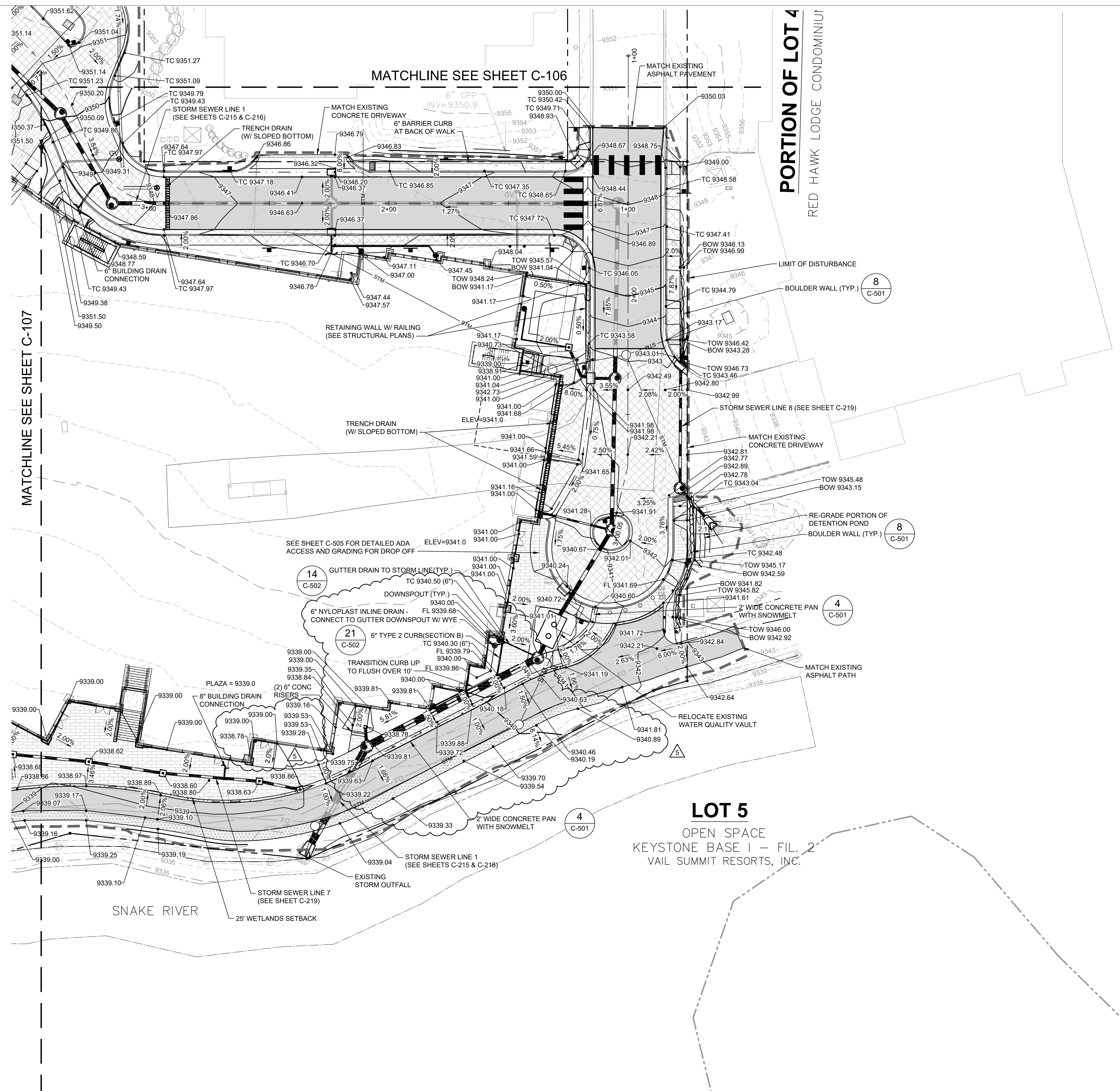
Attachments included:

Attachments included: RFI - SE Corner Grade Bust on Civils vs Architecturals.pdf

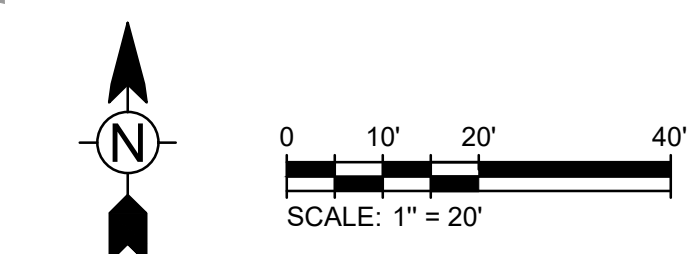
See updated structural drawings where grade is higher than current top of foundation wall elevation. See arch and civil drawings for extent.

Alex Hesse, KL&A
 5/8/2024


5/14/2024 9:27:30 AM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHETS\106 DETAILED GRADING AND DRAINAGE PLAN DWG - KONDO, ETHAN



- NOTES:
1. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
 2. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 3. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.




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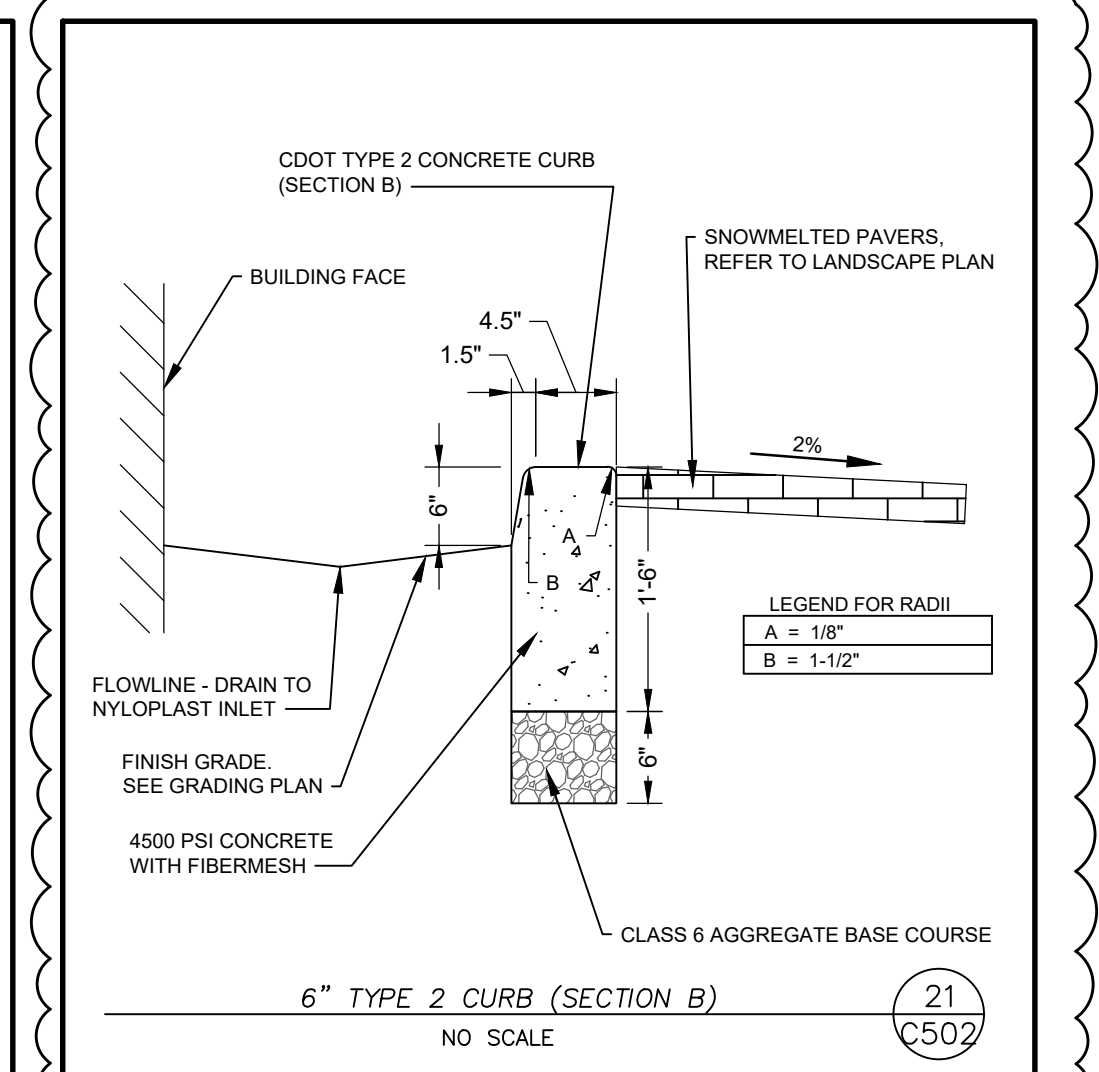
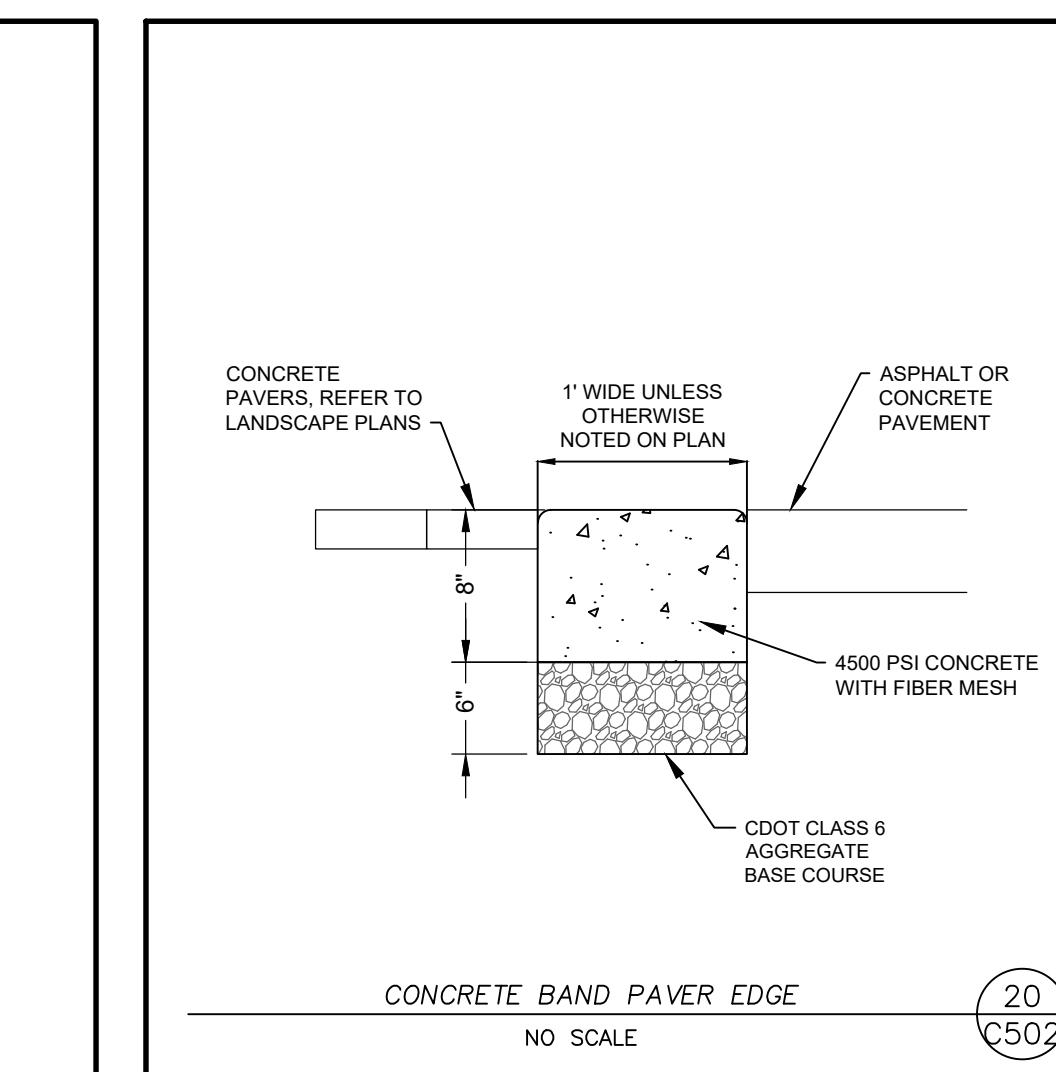
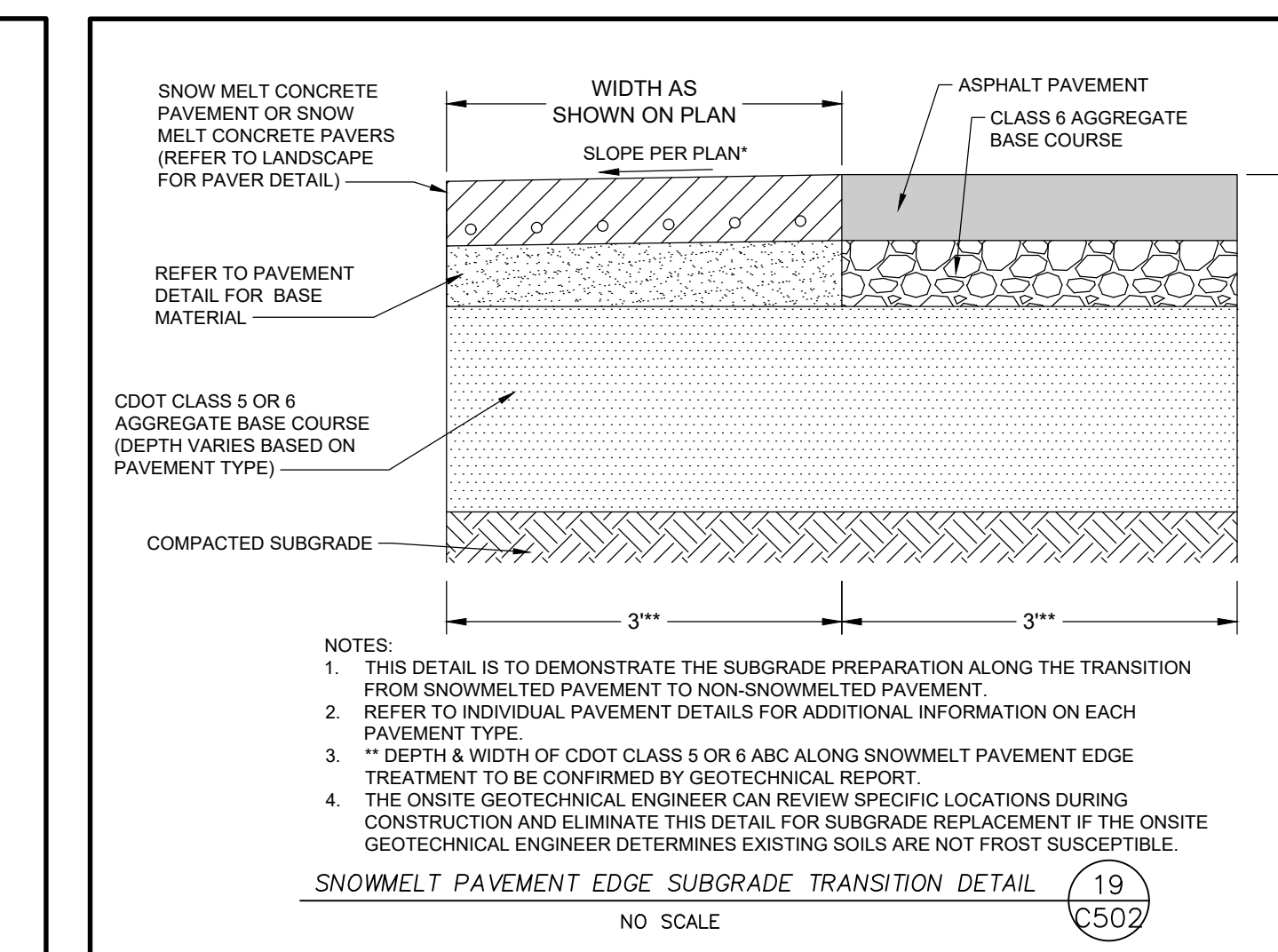
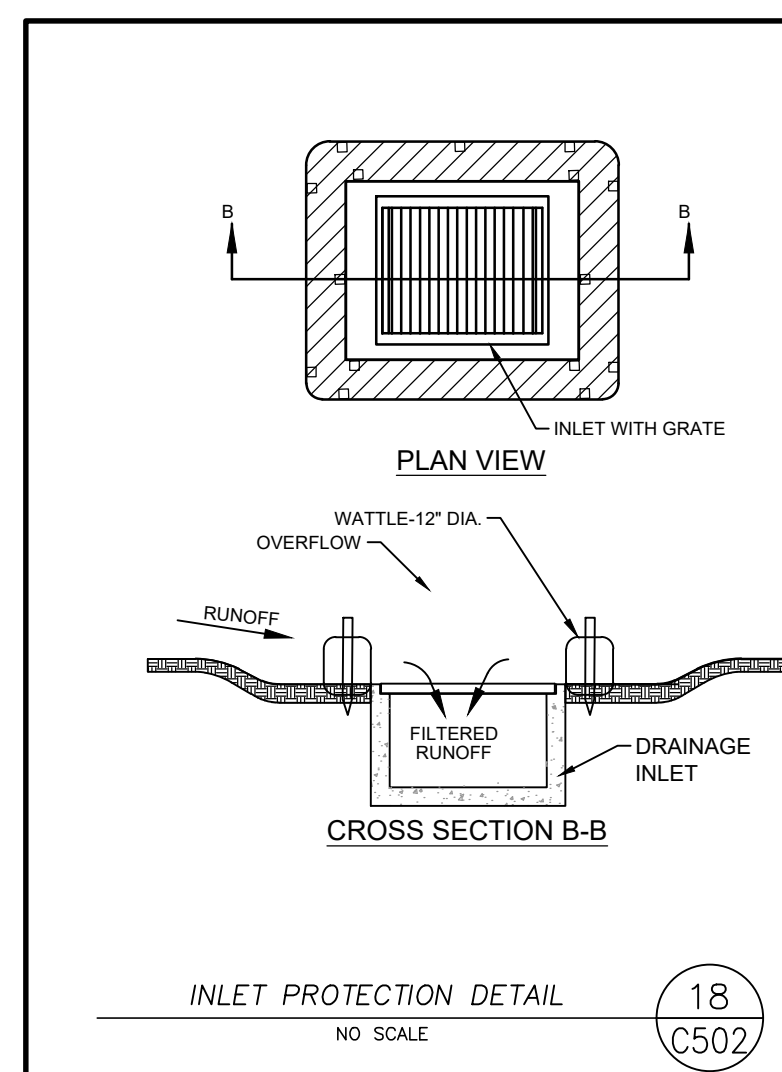
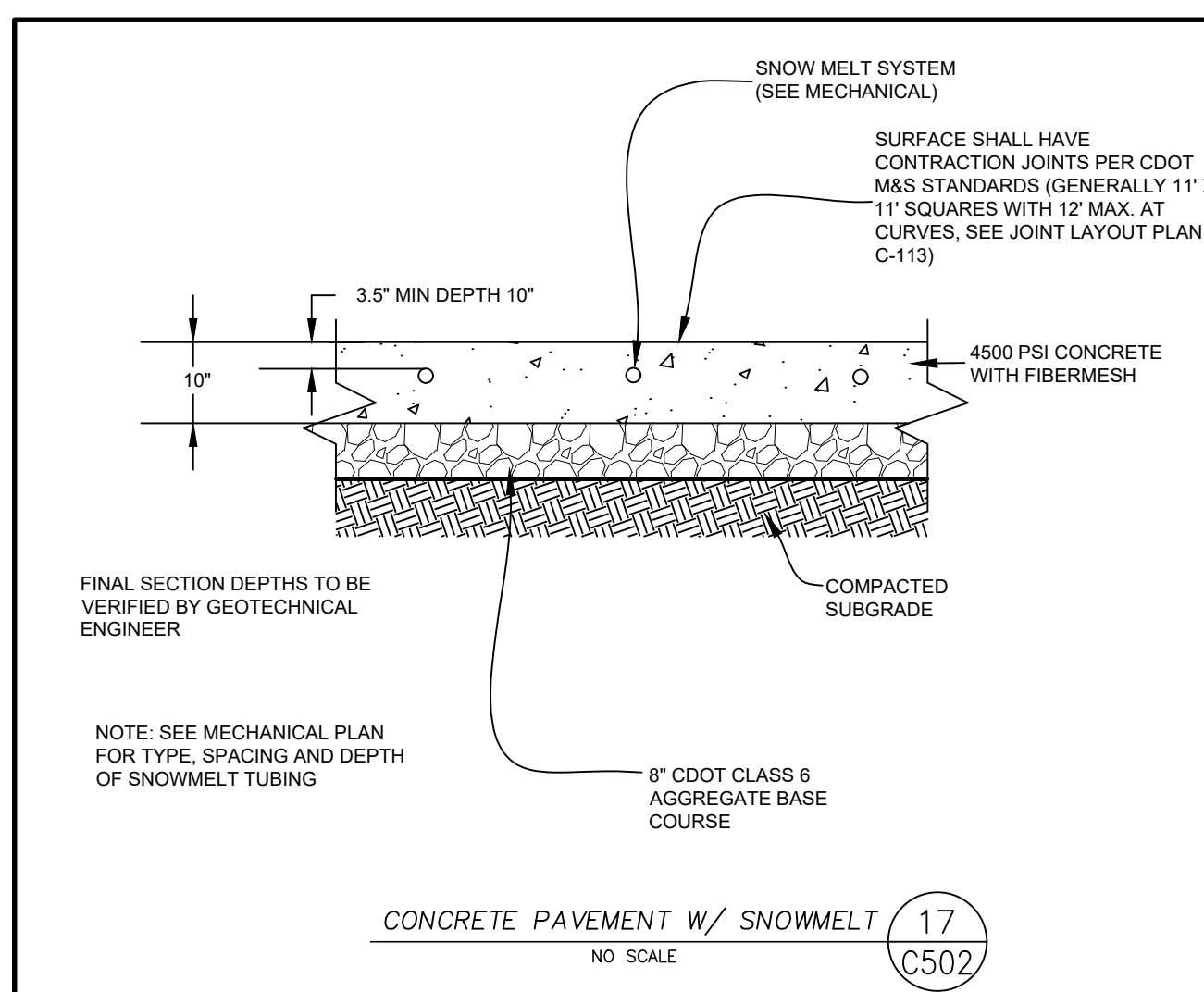
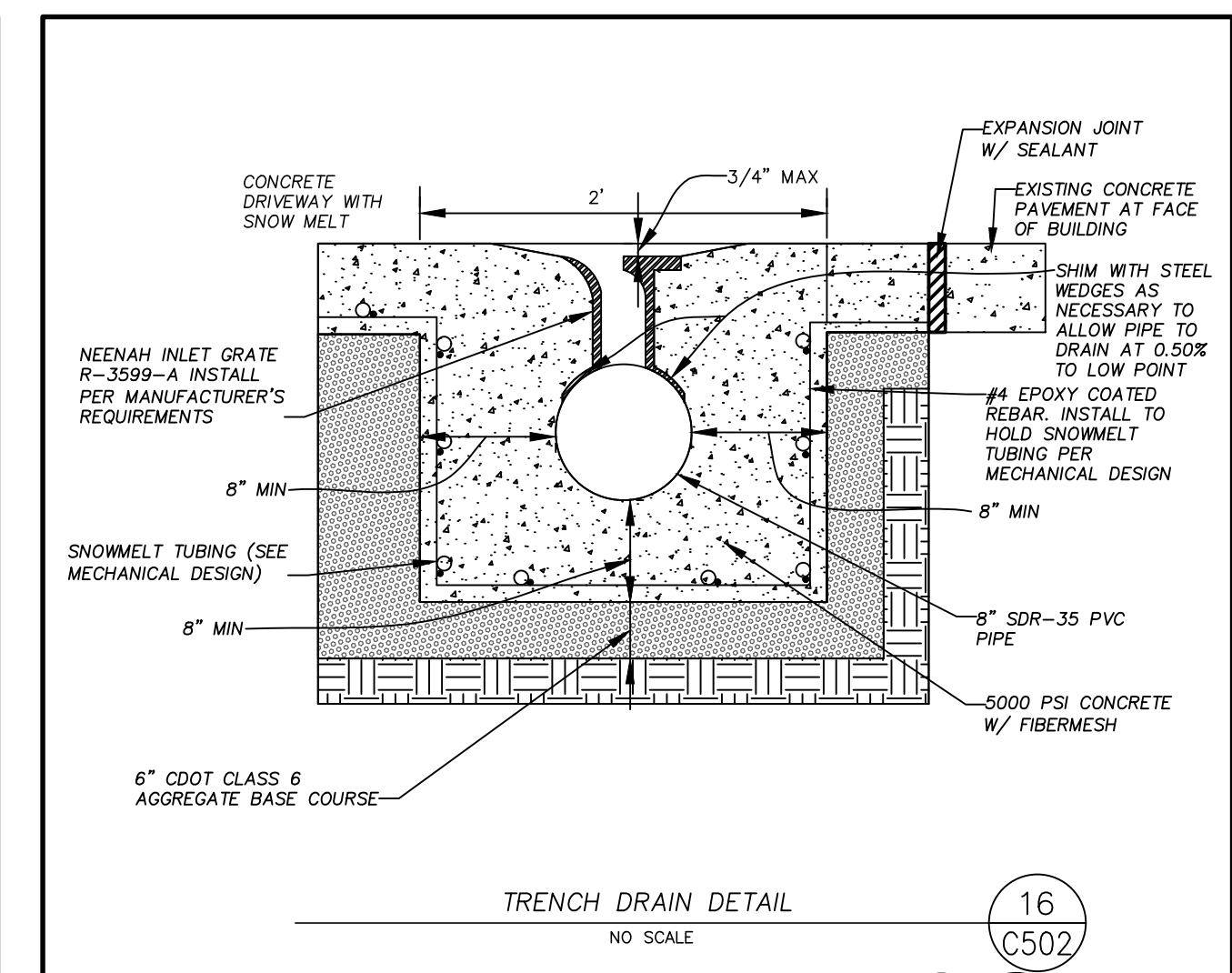
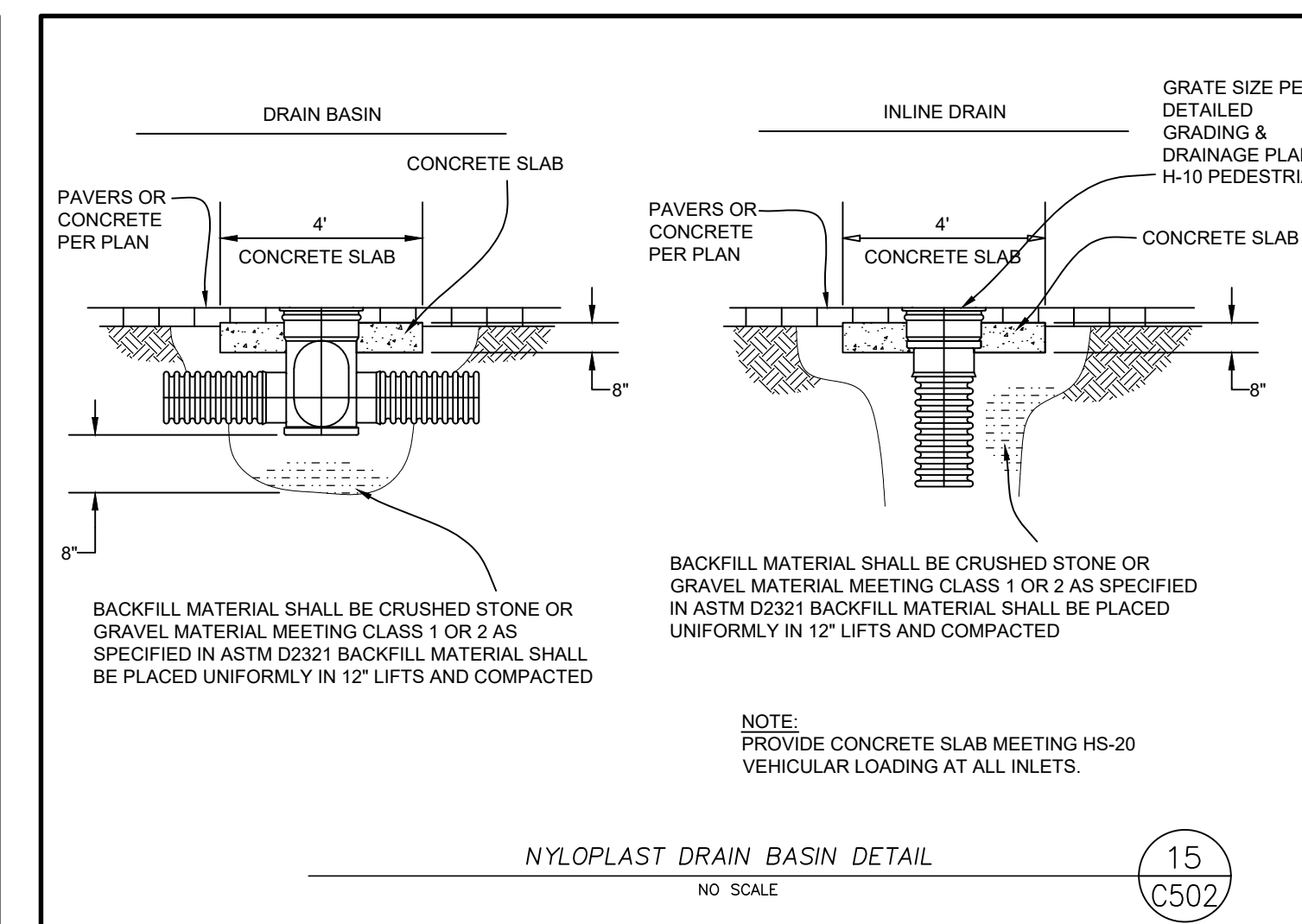
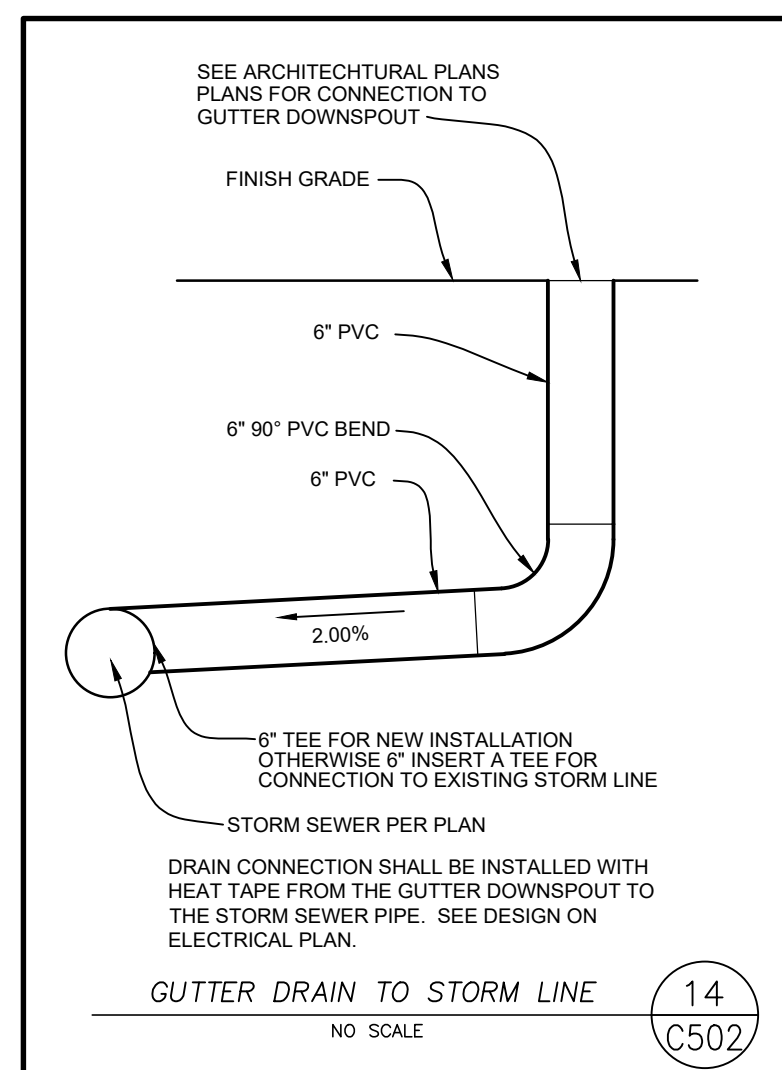
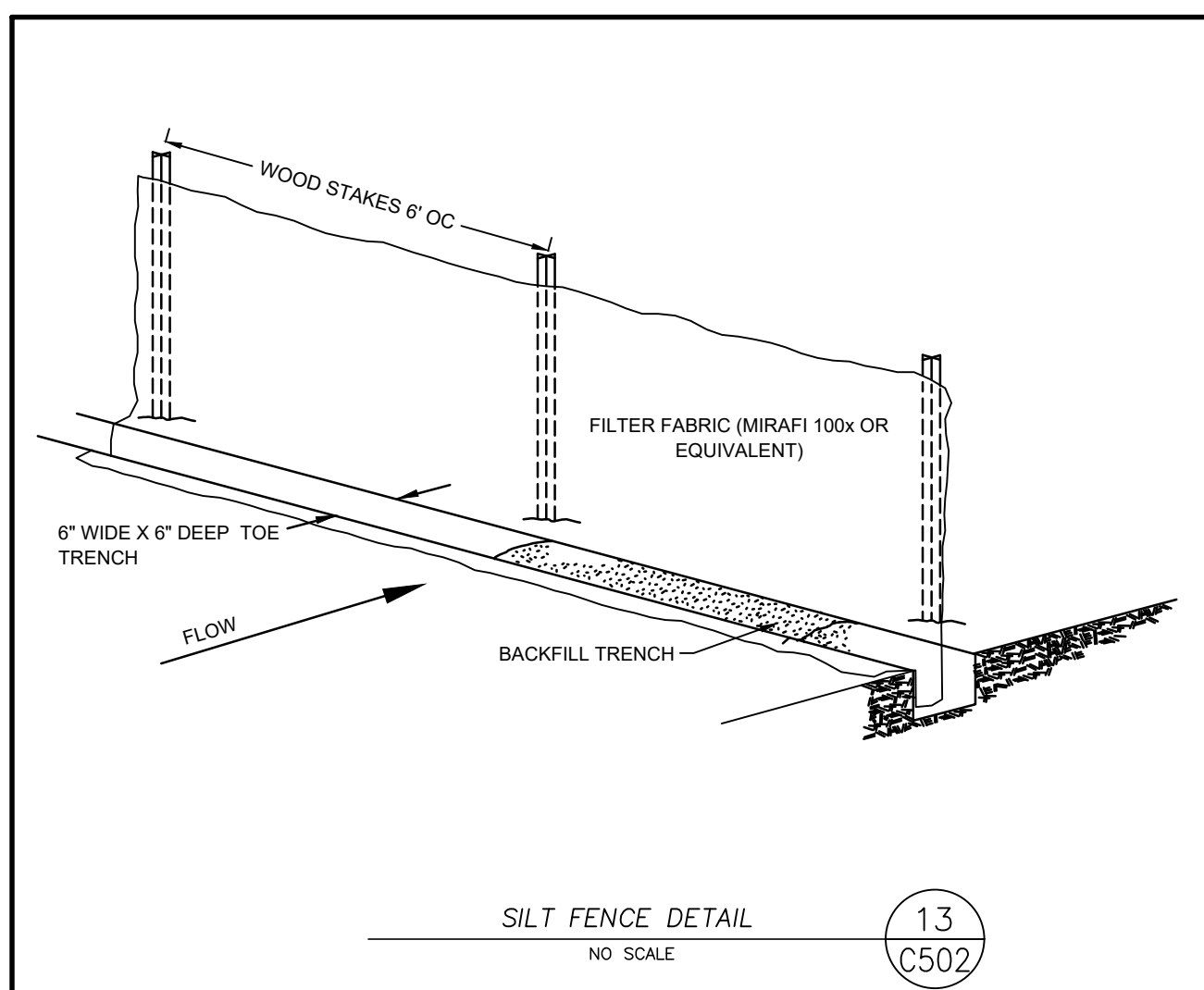
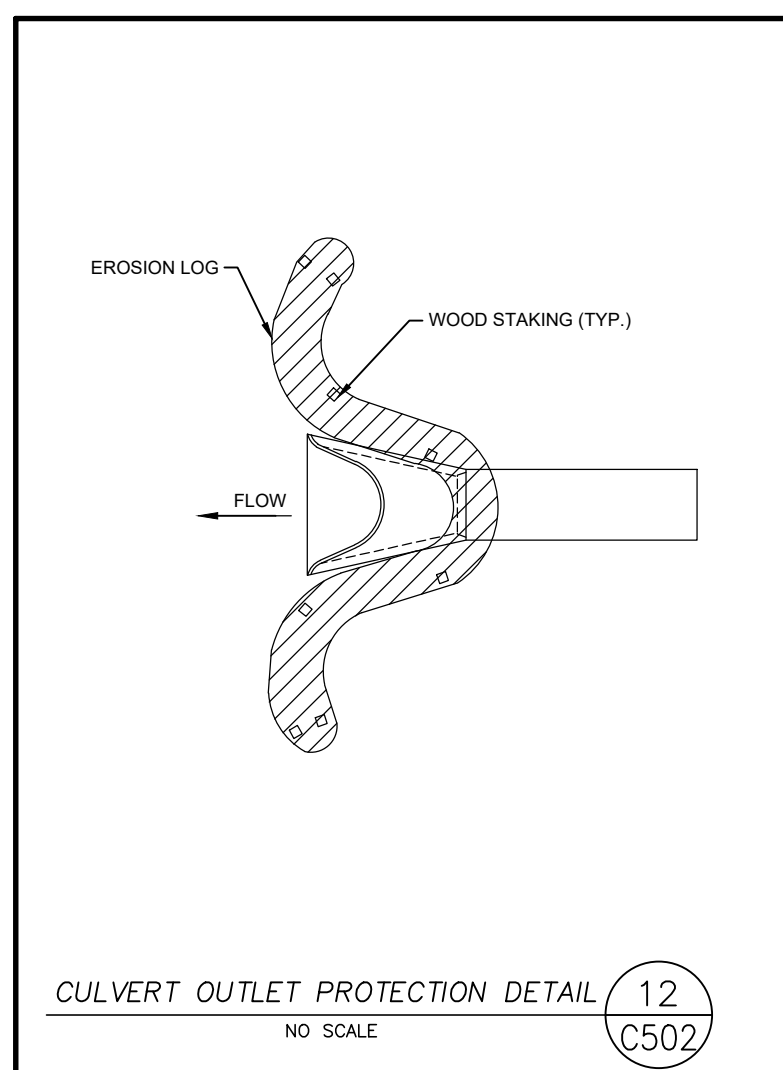
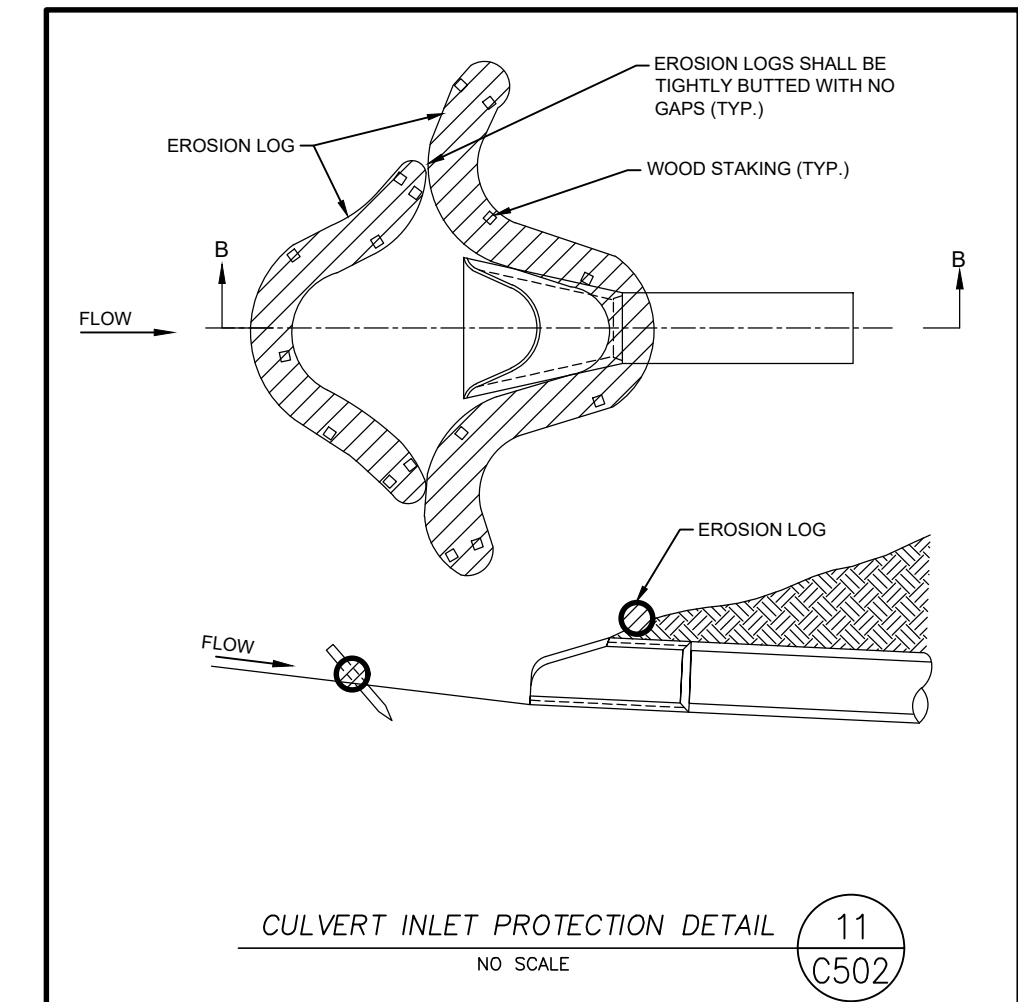
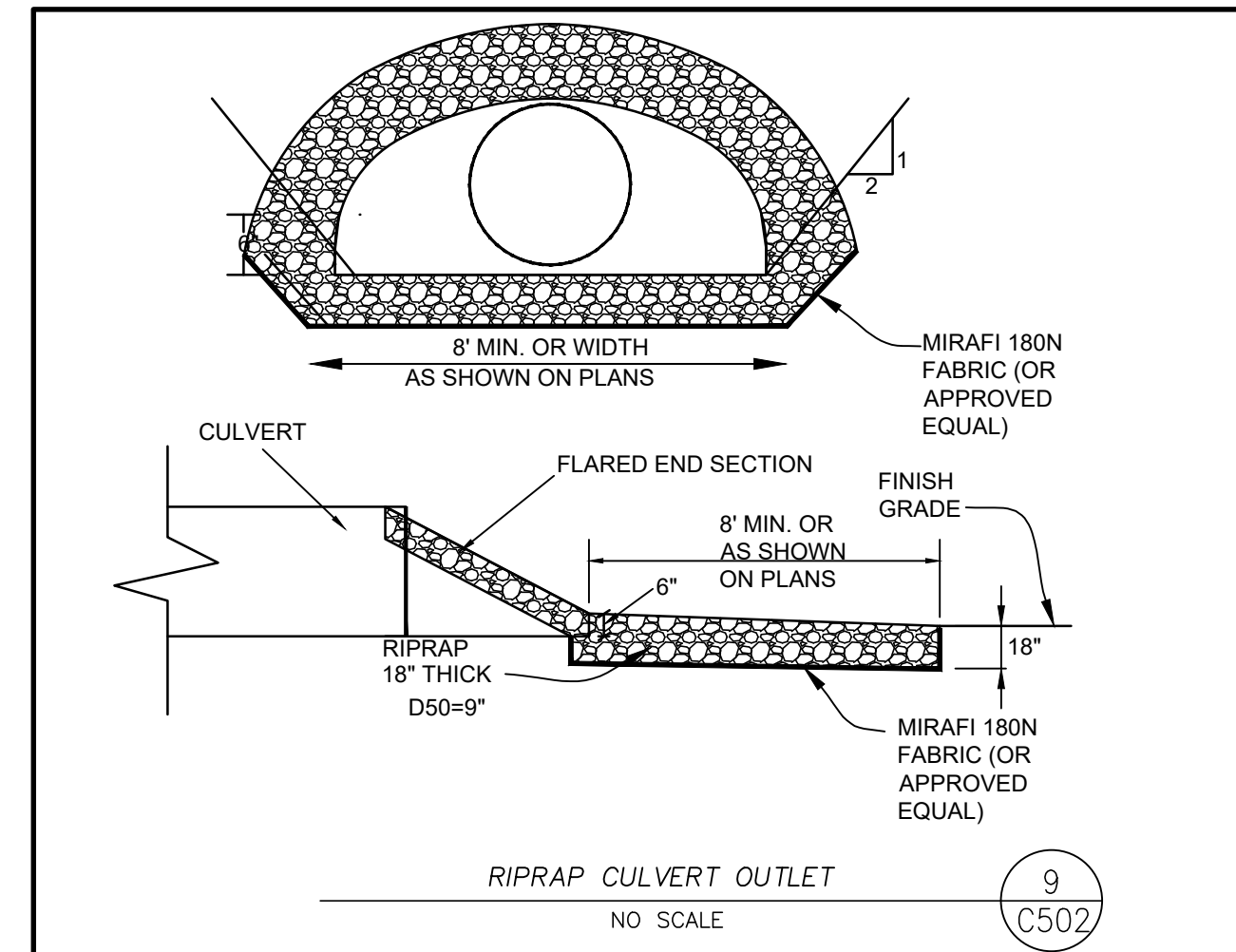
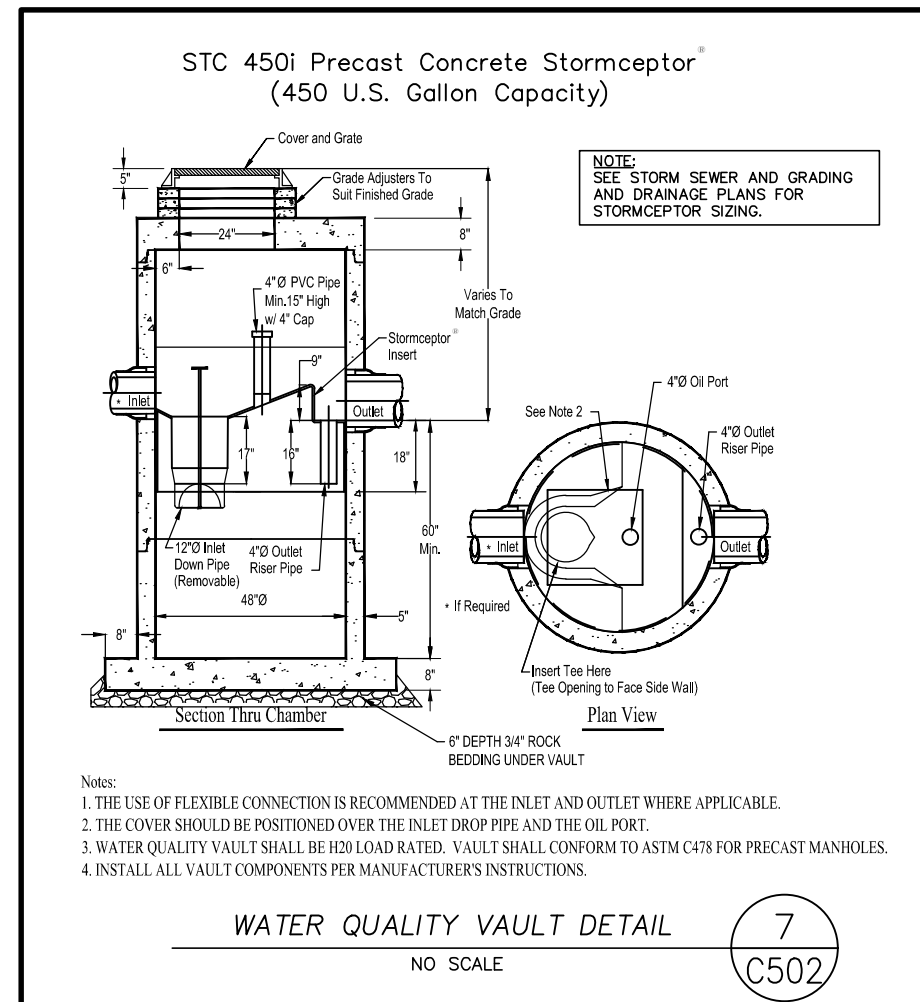
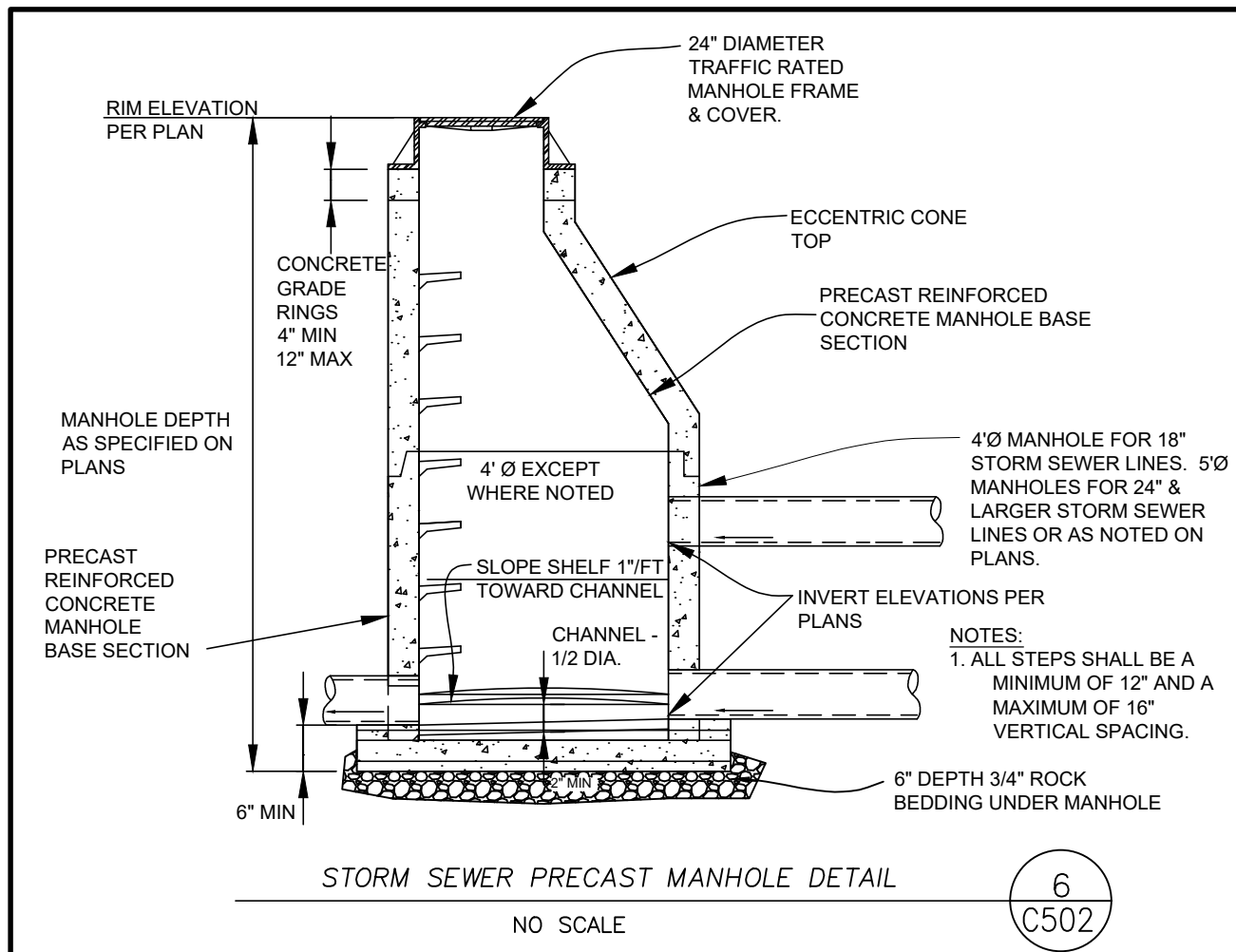
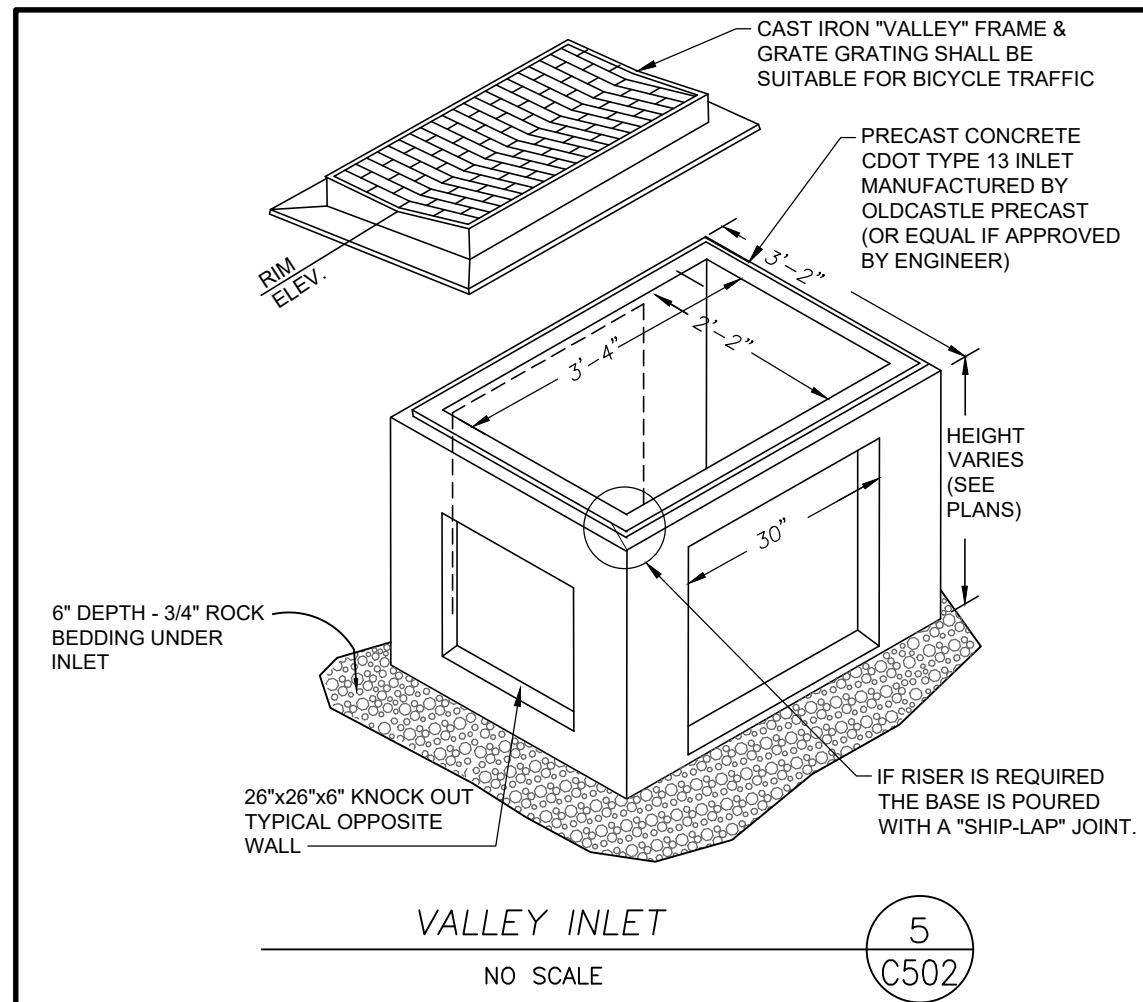
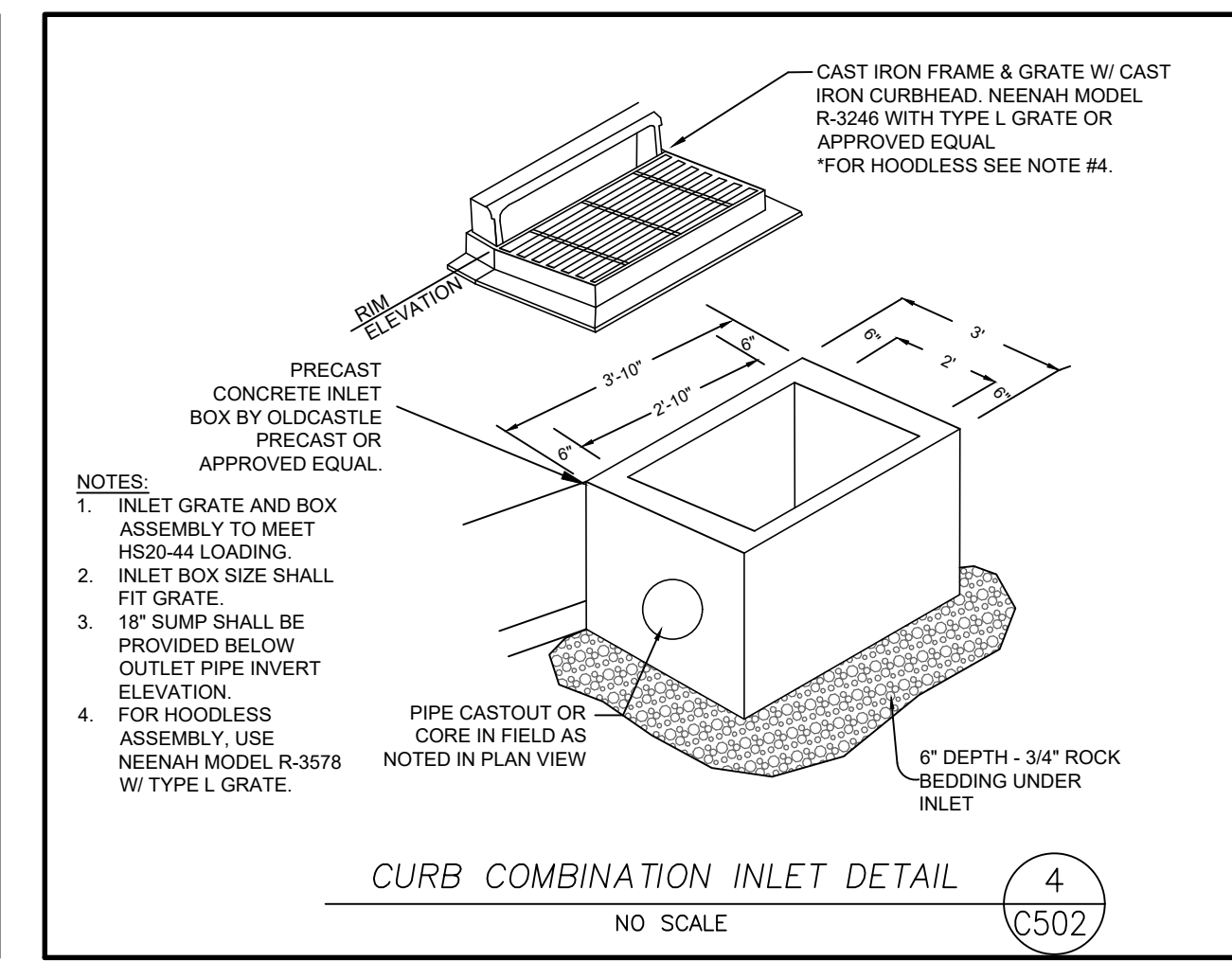
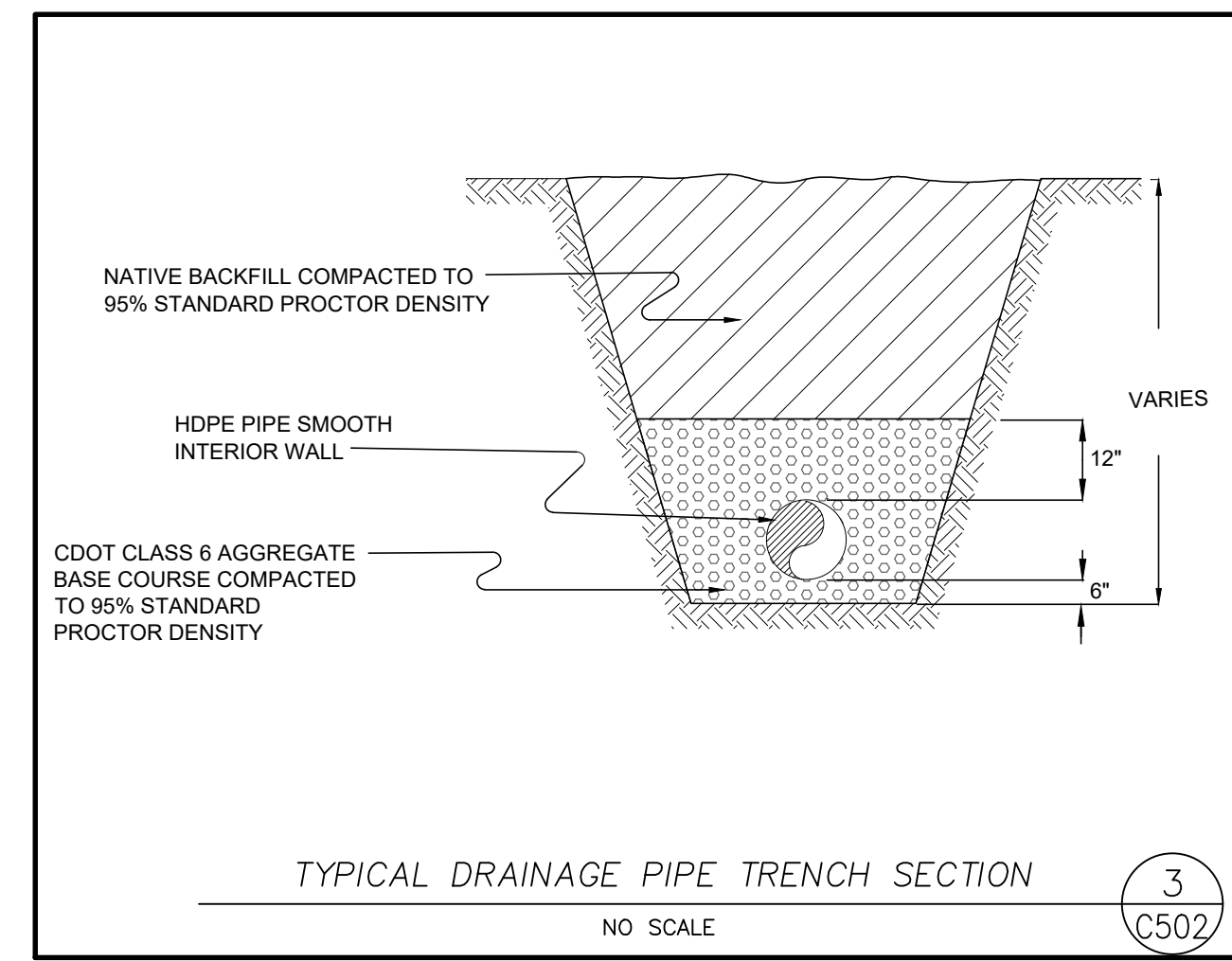
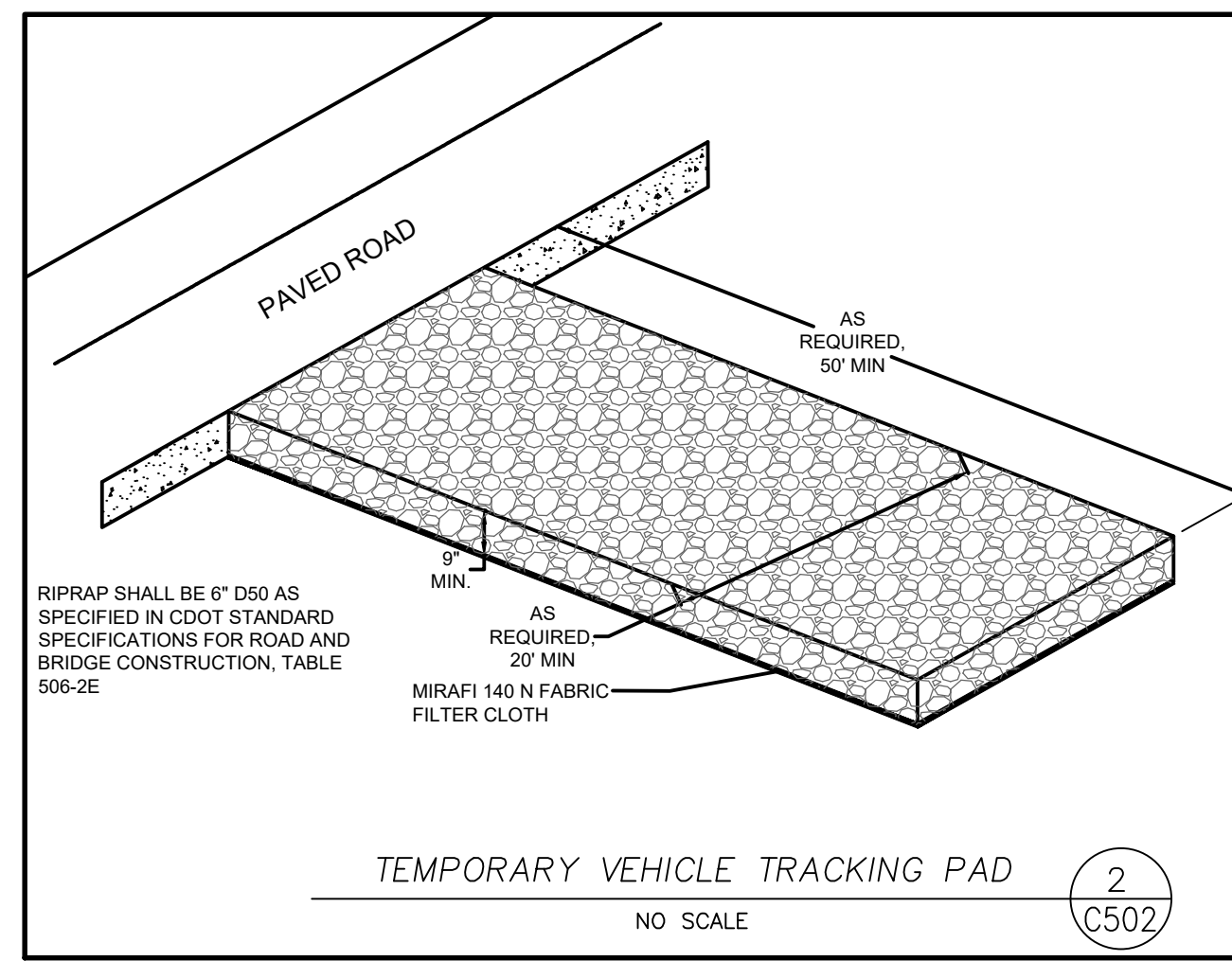
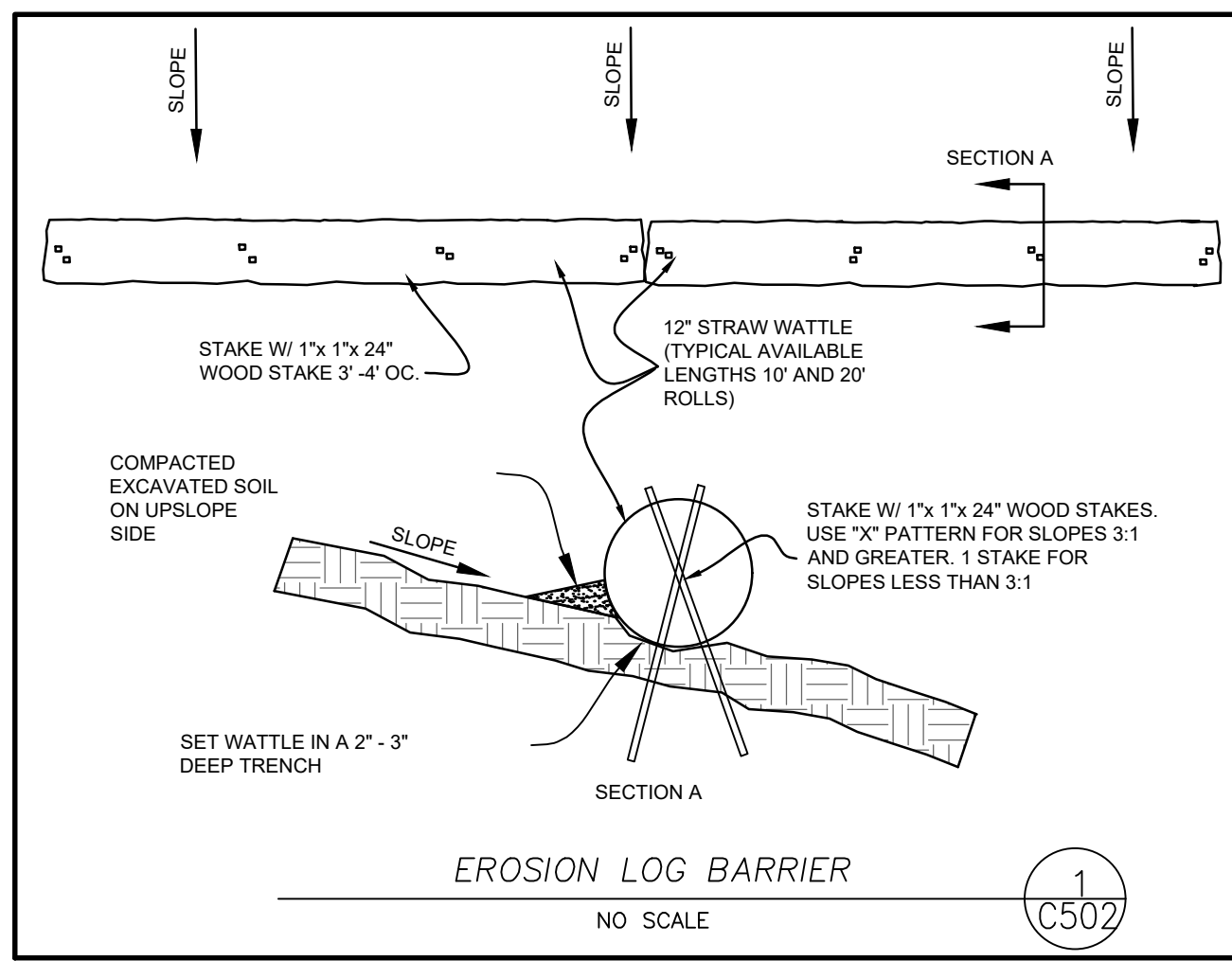

130 SKI HILL ROAD SUITE 140
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PHONE: (970)453-6394

ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

PROJ. NO. 23526-20001
 DRAWN: KGS
 CHECKED: CDD
 APPROVED: CDD
 DATE: 2021-12-17
 5-05/13/24 - SE BUILDING CORNER

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ONE RIVER RUN
 ISSUED FOR:
 GMP/BUILDING PERMIT
 RESUBMITTAL
 SHEET TITLE:
 DETAILED GRADING
 AND DRAINAGE PLAN
 SCALE: 1" = 20'
 SHEET NUMBER
C-108



5/14/2024 9:27:40 AM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHETS\FILES\C501 DETAILS.DWG - KONDO, ETHAN

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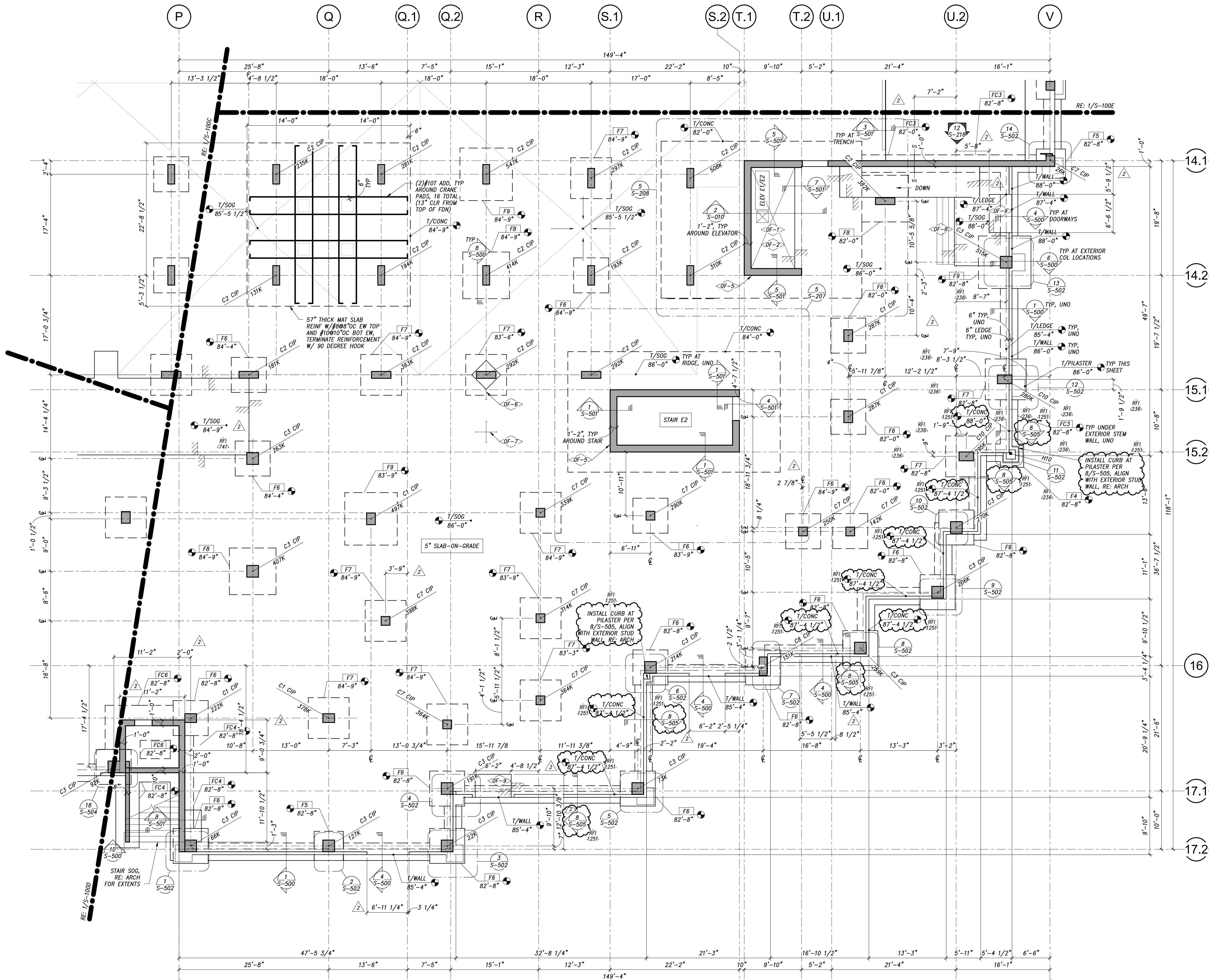
KEYNOTE	DESCRIPTION
OF-1	TUBE STEEL TO BE COORDINATED W/ ELEVATOR MANUFACTURER
OF-2	SUMP PIT, COORDINATE W/ ELEVATOR SUPPLIER
OF-3	EXTERIOR FACE OF CONCRETE ALIGNS WITH GRID, TYP (4) SIDES UNO
OF-6	SOG BLOCKOUT AT COLUMN, TYP. RE: 14/S-010
OF-7	SOG JOINTING, TYP. RE: 8/S-010
OF-8	STAIRS ON GRADE, RE: ARCH AND 12/S-010
OF-9	SOG DEPRESSION, RE: ARCH FOR ELEVATION

ISOLATED FOOTING SCHEDULE					
MARK	LENGTH "L"	WIDTH "B"	THICKNESS "T"	REINFORCING	DESIGN LOAD COMMENTS
F4	4'-0"	4'-0"	1'-0"	(4) #5 EW BOT	144 KIPS (ASD)
F5	5'-0"	5'-0"	1'-4"	(5) #6 EW BOT	225 KIPS (ASD)
F6	6'-0"	6'-0"	1'-6"	(6) #7 EW BOT	324 KIPS (ASD)
F7	7'-0"	7'-0"	1'-10"	(7) #8 EW BOT	441 KIPS (ASD)
F8	8'-0"	8'-0"	2'-2"	(8) #9 EW BOT	576 KIPS (ASD)
F8-A	8'-0"	8'-0"	1'-4"	(7) #6 EW BOT	729 KIPS (ASD)
F9	9'-0"	9'-0"	2'-6"	(9) #9 EW BOT	729 KIPS (ASD)
F10	10'-0"	10'-0"	2'-10"	(10) #9 EW BOT	900 KIPS (ASD)
F11	11'-0"	11'-0"	3'-0"	(11) #9 EW BOT	1089 KIPS (ASD)
FX	13'-0"	8'-0"	1'-10"	#6012"OC EW BOT AND #5012"OC EW TOP	936 KIPS (ASD)
FY	15'-6"	8'-0"	1'-10"	#6012"OC EW BOT AND #5012"OC EW TOP	1116 KIPS (ASD)
FZ	8'-9"	7'-0"	1'-0"	#6012"OC EW BOT	550 KIPS (ASD)

CONTINUOUS FOOTING SCHEDULE				
MARK	WIDTH "B"	THICKNESS "T"	REINFORCING	DESIGN LOAD COMMENTS
FC3	3'-0"	1'-0"	(3)#5 LONG & #4018" OC TRANS BOTTOM	27 KIPS/FT (ASD)
FC3.5E	3'-6"	1'-6"	(3)#5 LONG BOT & #6012" OC BOT TRANS W/ 90° HOOK	31 KIPS/FT (ASD)
FC4	4'-0"	1'-0"	(3)#5 LONG TAB & #5015"OC TRANS TAB	36 KIPS/FT (ASD)
FC5.5E	5'-6"	1'-6"	(5)#5 LONG BOT & #6012" OC BOT TRANS W/ 90° HOOK	49 KIPS/FT (ASD)
FC6	6'-6"	1'-0"	(4)#5 LONG TAB & #5015"OC TRANS TAB	54 KIPS/FT (ASD)
FC7E	7'-0"	2'-0"	#6012"OC TAB LONG & #7012"OC TAB TRANS	63 KIPS/FT (ASD)

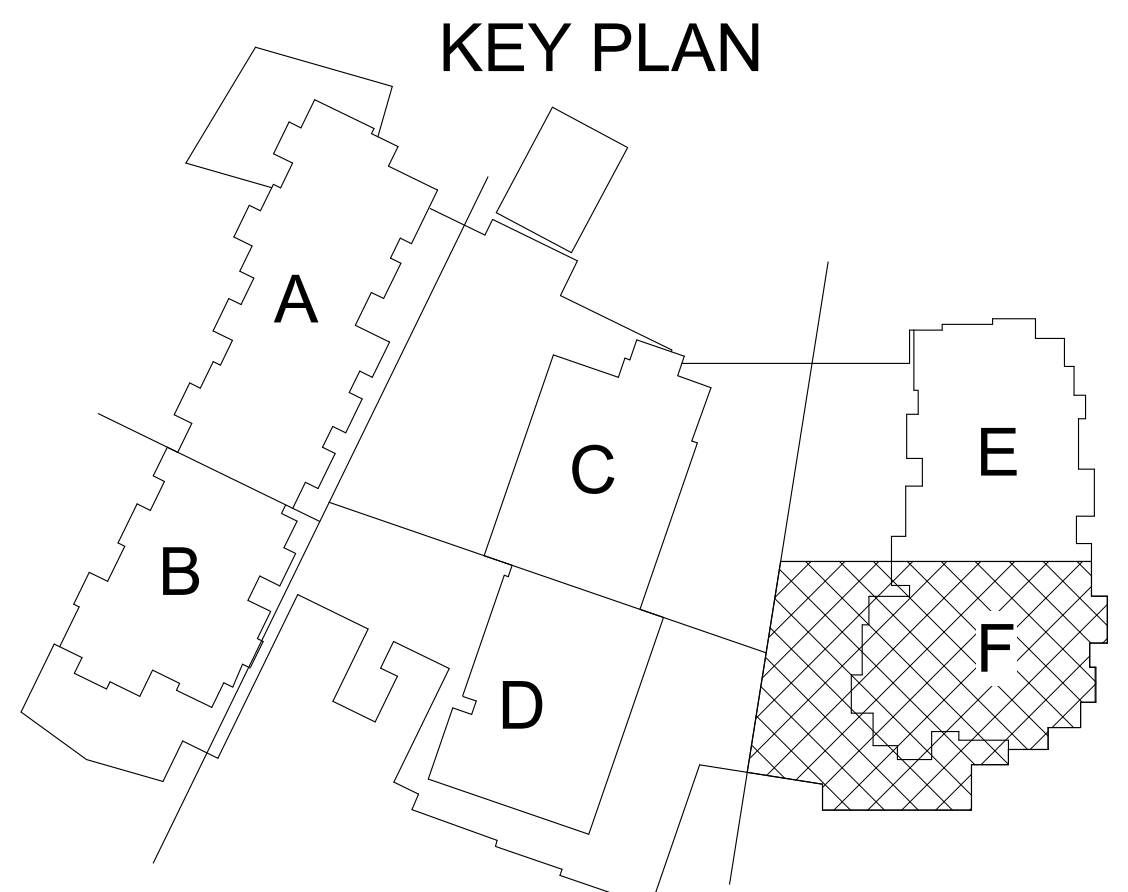
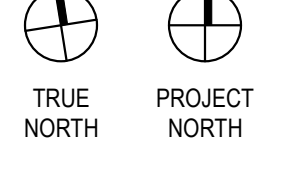
TOWER CRANE FOUNDATION LOADING				
LOAD EFFECT	MANITOWOC MD 485B			
	IN-SERVICE	STORM WIND FROM REAR	ERECTOR	STORM WIND FROM SIDE
M ₀	3999 ft-kips	6112 ft-kips	4451 ft-kips	5616 ft-kips
P	352 kips	328 kips	234 kips	328 kips
H _{max}	18.4 kips	64.1 kips	11.7 kips	46.3 kips
M _s	349 ft-kips	0 ft-kips	349 ft-kips	0 ft-kips

NOTES:
 1. LOADS ABOVE ARE BASED ON TOWER CRANE REACTIONS PROVIDED BY MANITOWOC AND CONFIRMED BY PCL CONSTRUCTION ON 09/13/2021.
 2. CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER PRIOR TO INSTALLATION IF LOADING ABOVE DIFFERS FROM CRANE TO BE INSTALLED IN FIELD.
 3. ALL LOADS LISTED ABOVE ARE SERVICE LEVEL LOADS EXCEPT "STORM WIND FROM REAR" WIND LOAD REACTION COMPONENTS.



FOUNDATION PLAN NOTES:
 1. SOG (SLAB-ON-GRADE) WHERE SHOWN ON PLAN CONSISTS OF REINFORCED CAST-IN-PLACE CONCRETE SLAB PLACED ON FREE DRAINAGE COMPACTED BASE OVER SUITABLE SUBGRADE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER AND GEOTECHNICAL REPORT. SLAB TO BE 5" CONCRETE SOG REINFORCED WITH #4018"OC EW. REINFORCING SHALL BE CHAIRED MID-HEIGHT OF THE SLAB. UNO. CONTROL JOINTS SHALL HAVE A MAXIMUM SPACING OF 15'-0". RE: TYPICAL DETAILS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
 2. TOP OF SLAB ELEVATION INDICATED ON PLAN.
 3. FOUNDATIONS CONSIST OF SPREAD FOOTINGS WHERE SHOWN ON PLAN. UNLESS INDICATED OTHERWISE FOOTINGS SHALL BE CENTERED BELOW WALLS AND COLUMNS. RE: FOOTING SCHEDULE AND TYPICAL DETAILS. REACTIONS SHOWN ON PLAN ARE ULTIMATE LEVEL LOADS.
 4. TOP OF FOUNDATION ELEVATIONS INDICATED ON PLAN.
 5. RE: SHEET S001-S003 FOR GENERAL NOTES AND GENERAL LEGENDS
 6. RE: SHEET S010-S018 FOR TYPICAL DETAILS
 7. RE: SHEET S020-S022 FOR LOAD KEYS
 8. RE: SHEET S600-S603 FOR SCHEDULES

1 GARAGE FOUNDATION AREA F
 1/8" = 1'-0"



THE STRUCTURAL ENGINEERS SEAL ON THIS DRAWING INDICATES THAT THE INFORMATION SHOWN AND THE CALCULATIONS PERTAINING TO THIS DRAWING AND SUCH RESPONSIBILITY IS SPECIFICALLY DISCLAIMED. ON THESE PROJECTS, DRAWINGS THAT ARE ISSUED BUT NOT SEALED SHALL BE CONSIDERED TO BE PRELIMINARY IN NATURE AND ARE ISSUED FOR INFORMATION ONLY. PREPARED BY OTHERS FOR ANY INFORMATION NOT SHOWN ON THIS DRAWING AND SUCH RESPONSIBILITY IS SPECIFICALLY DISCLAIMED. WHERE CONFLICTS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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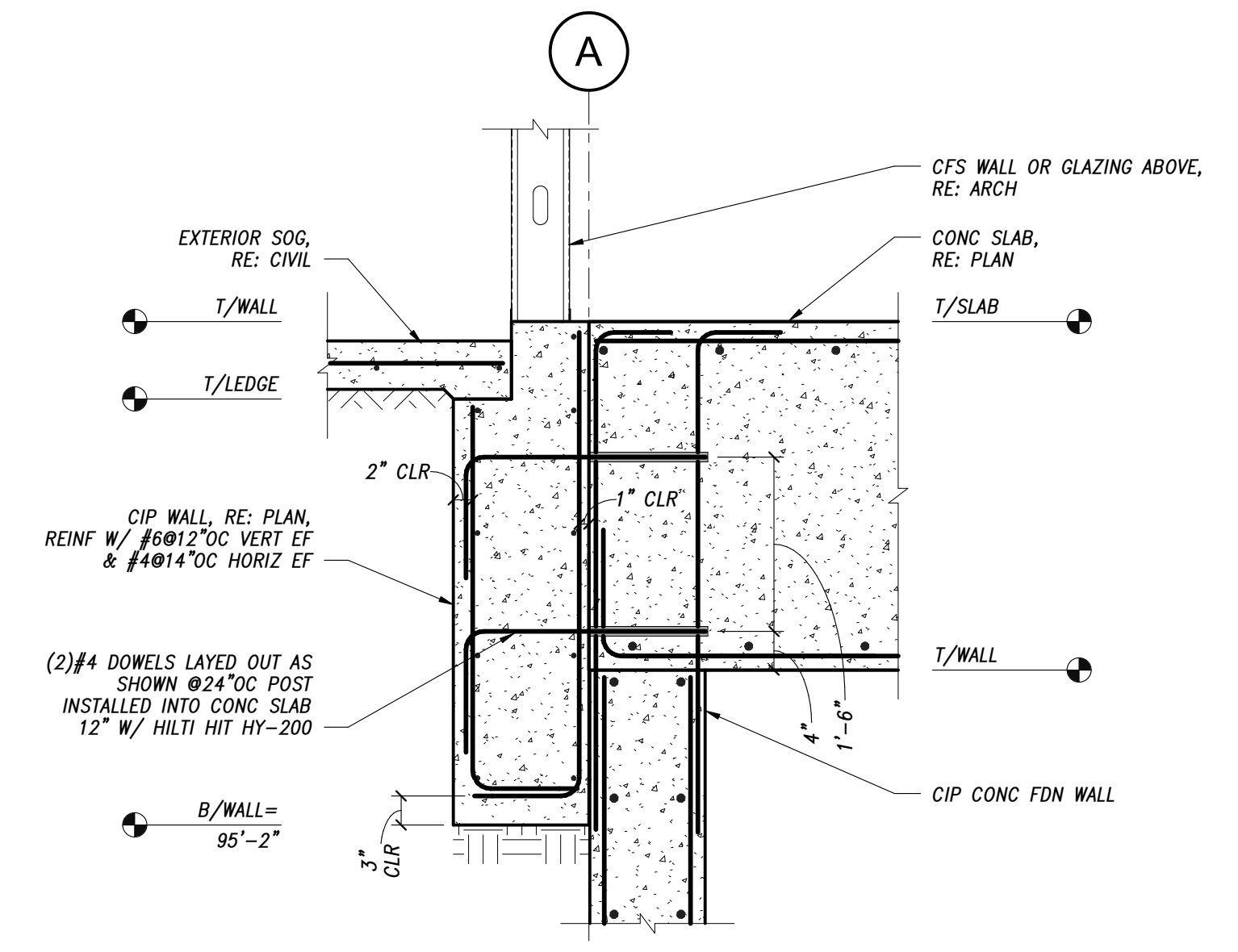
KL&A
 Engineers & Builders
 1000 14th Street, Suite 1000
 Denver, CO 80202
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ONE RIVER RUN
 75 HUNKI DORI CT.
 KEYSTONE, CO 80435

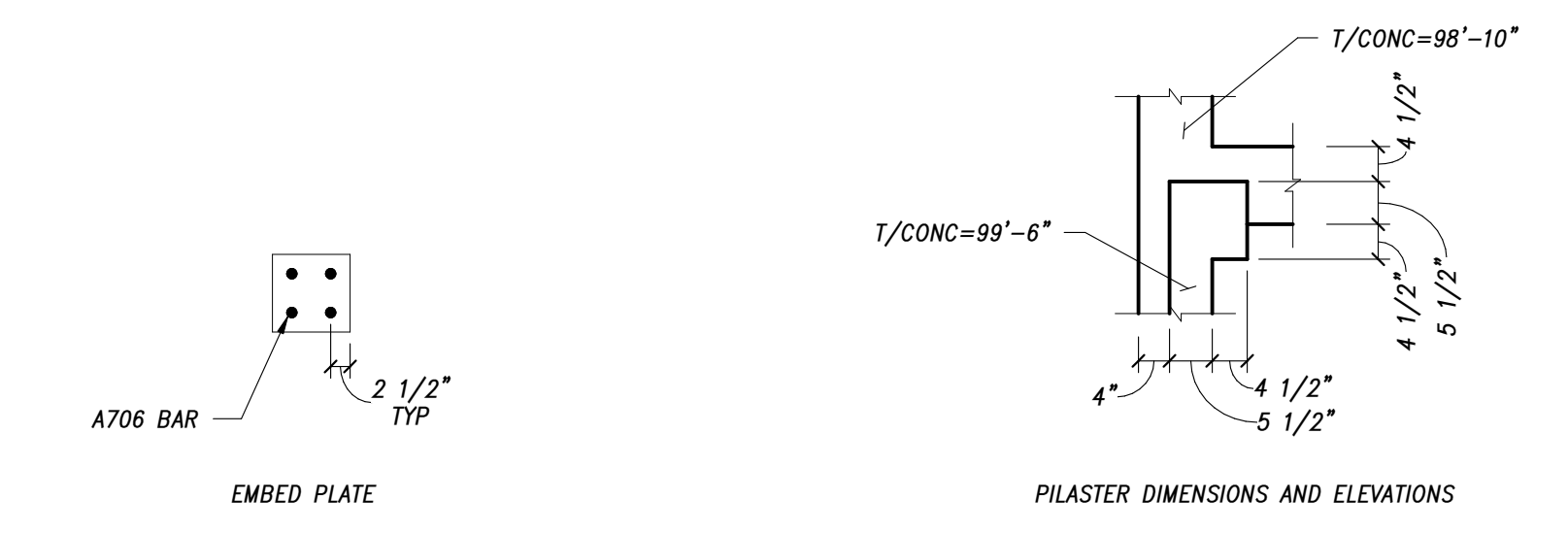
PROJ. NO: 117033.00
 DRAWN: KL&A
 CHECKED: JLM
 APPROVED: JLM
 DATE: 2021-12-17
 REVISIONS:
 1 11/12/21 BUILDING PERMIT RESUBMITTAL
 2 11/18/2022 ADDENDUM #3
 3 12/23/2023 CCD-004
 RFI 236 02/24/2023 RFI 236
 RFI 741 8/31/2023 RFI 741
 RFI 1251 5/8/2024 RFI 1251

ISSUED FOR:
 GMP/BUILDING PERMIT RESUBMITTAL
 SHEET TITLE:
 GARAGE FOUNDATION PLAN - AREA F
 SCALE: As indicated
 SHEET NUMBER
S-100F

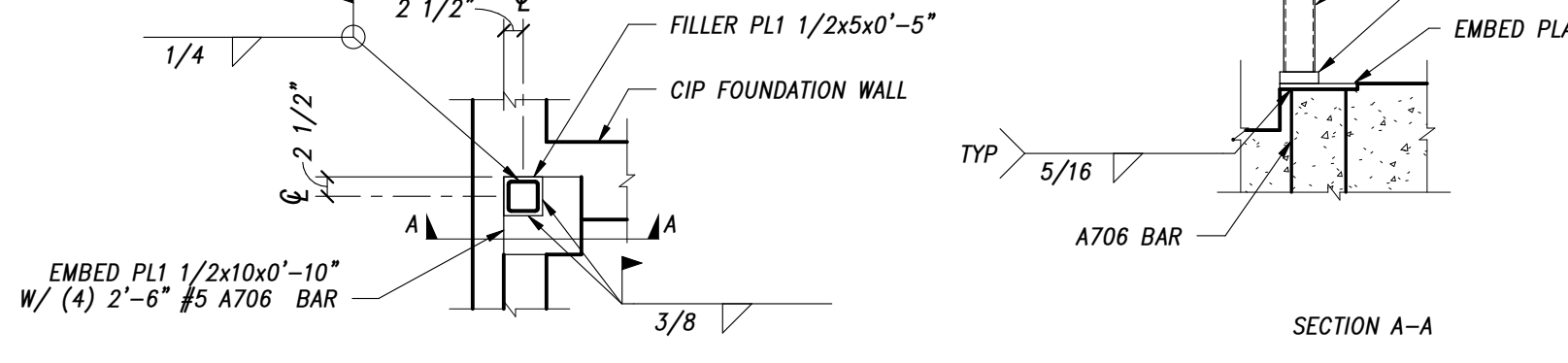
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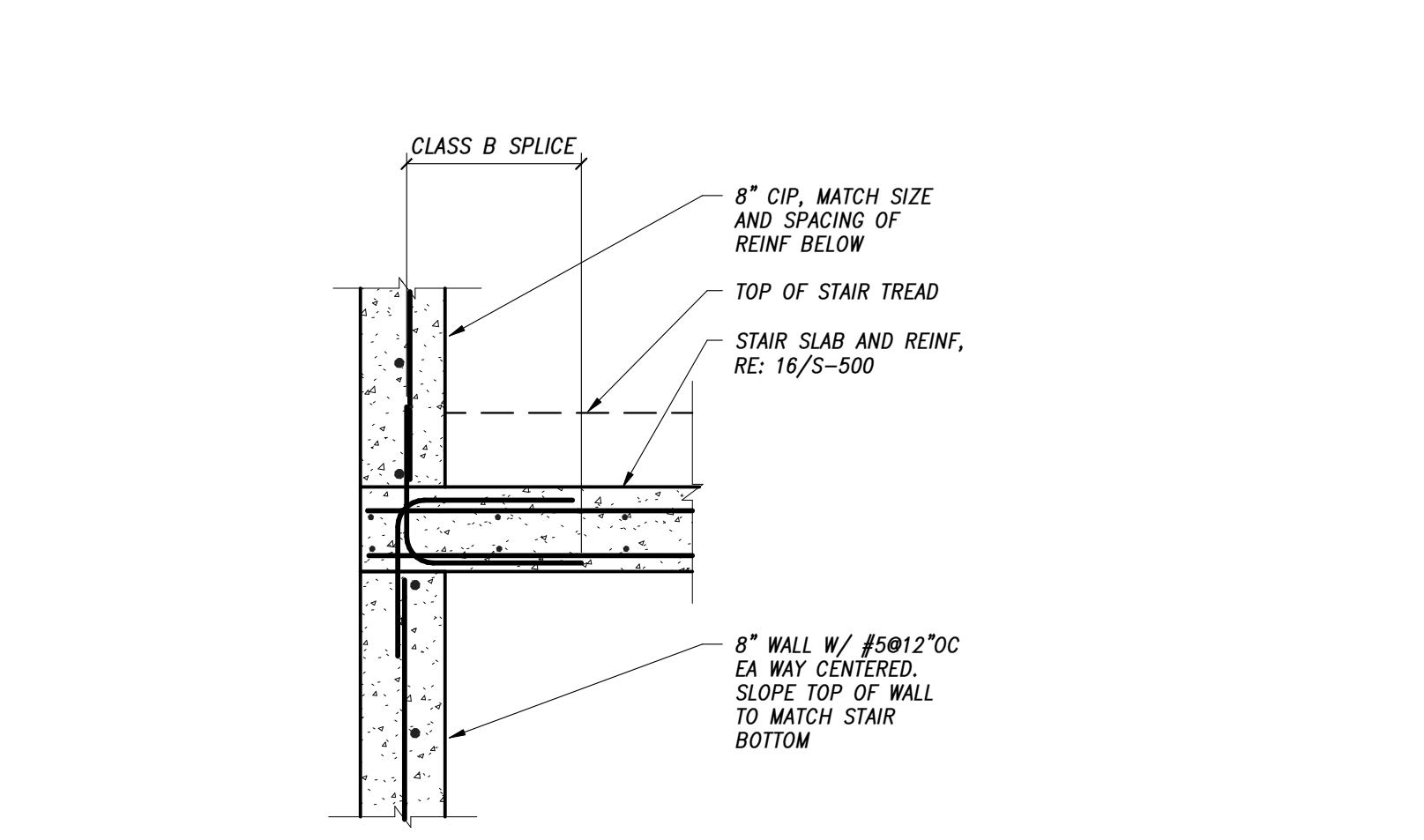
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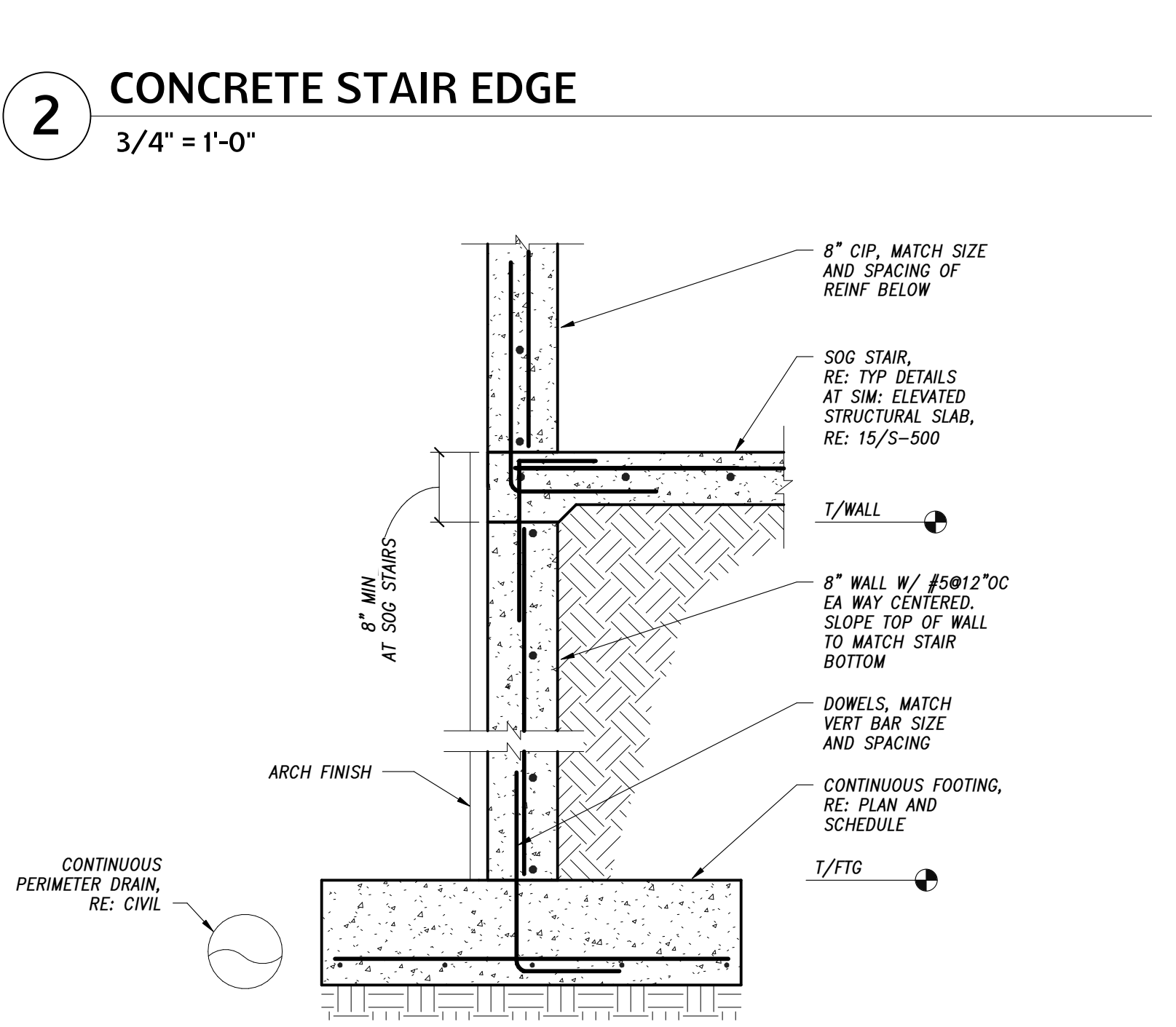
3 BASE PLATE DETAIL
1/2" = 1'-0"



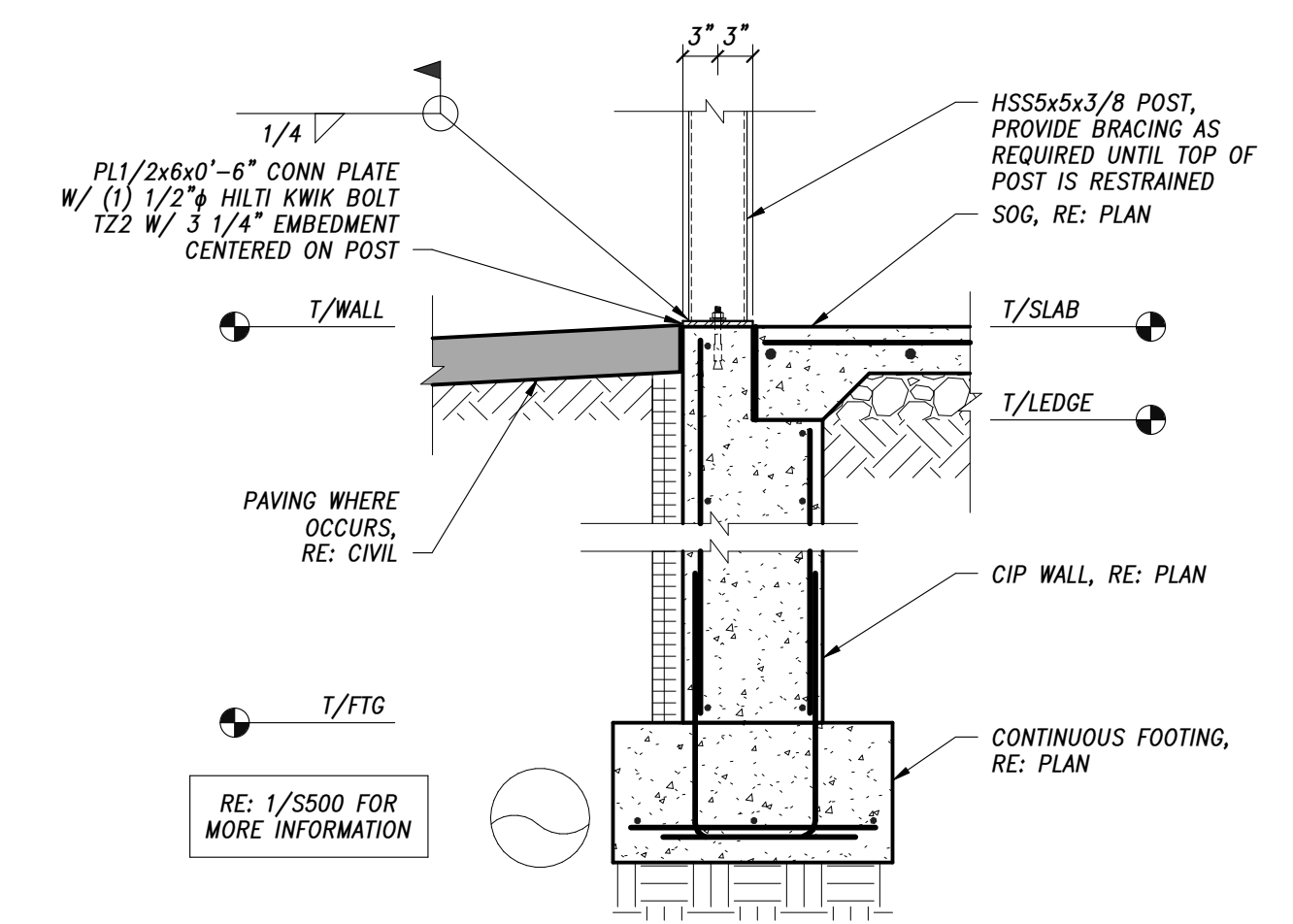
2 CONCRETE STAIR EDGE
3/4" = 1'-0"



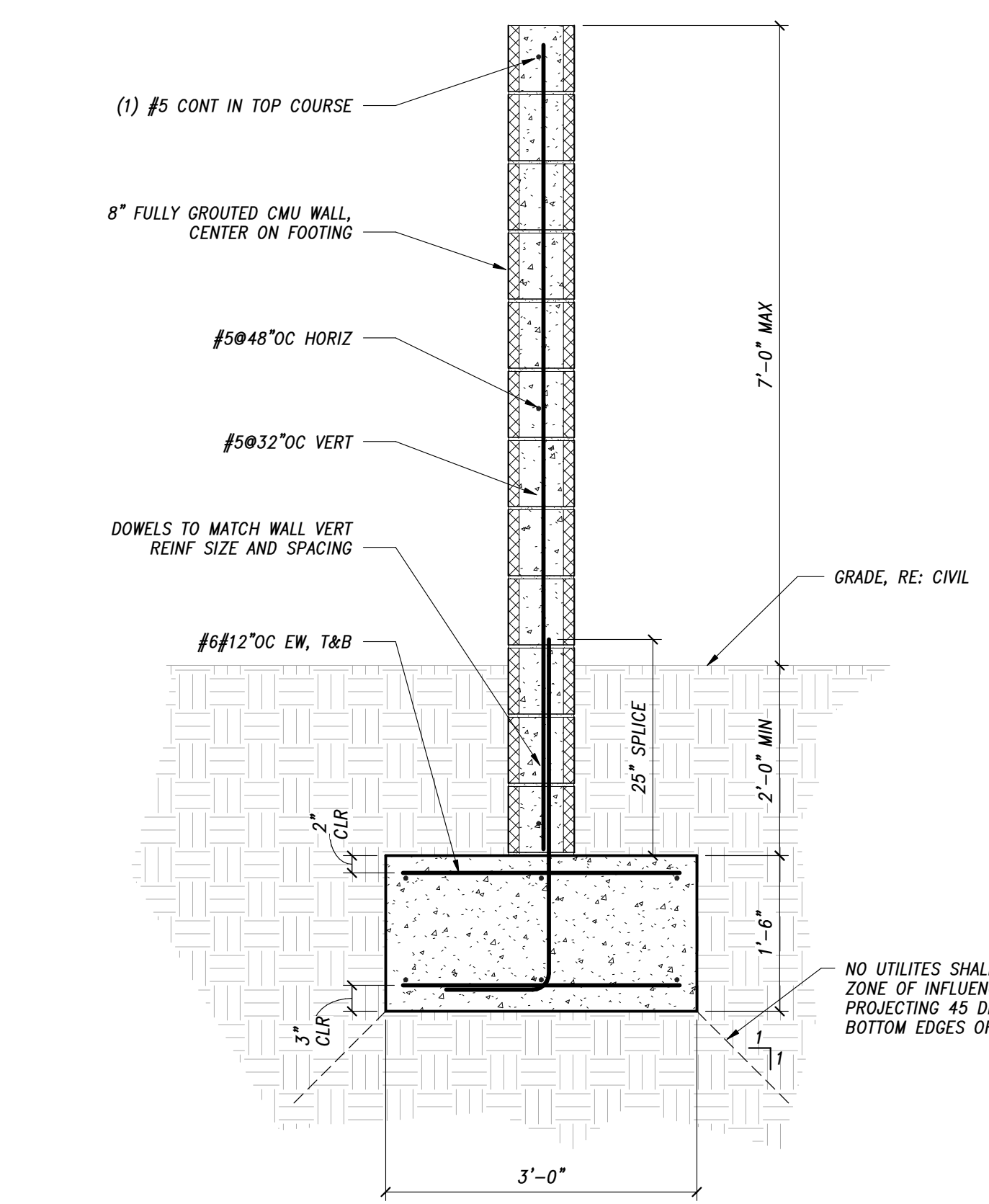
1 STAIR POUROVER AT WALL
3/4" = 1'-0"



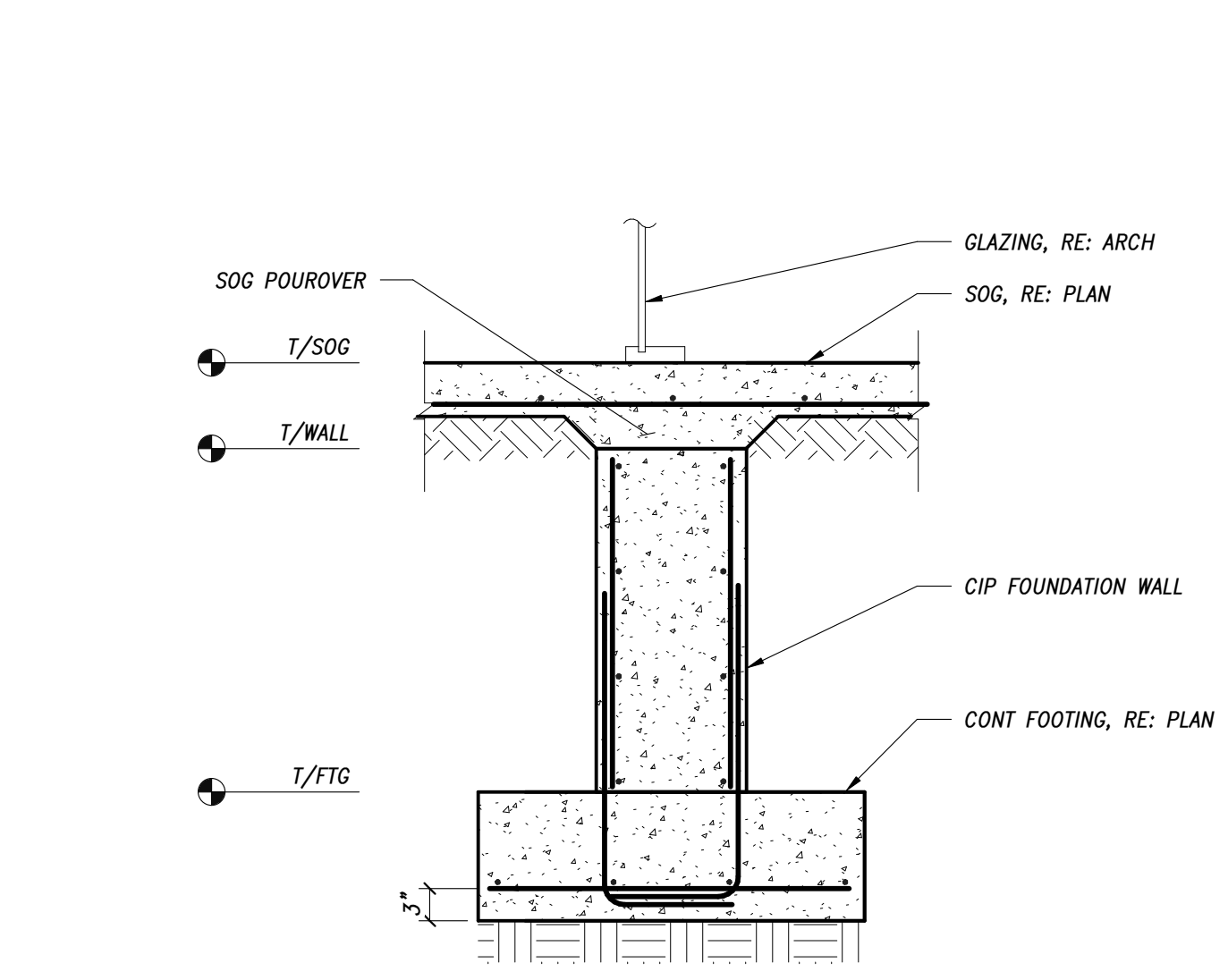
5 FOUNDATION WALL
3/4" = 1'-0"



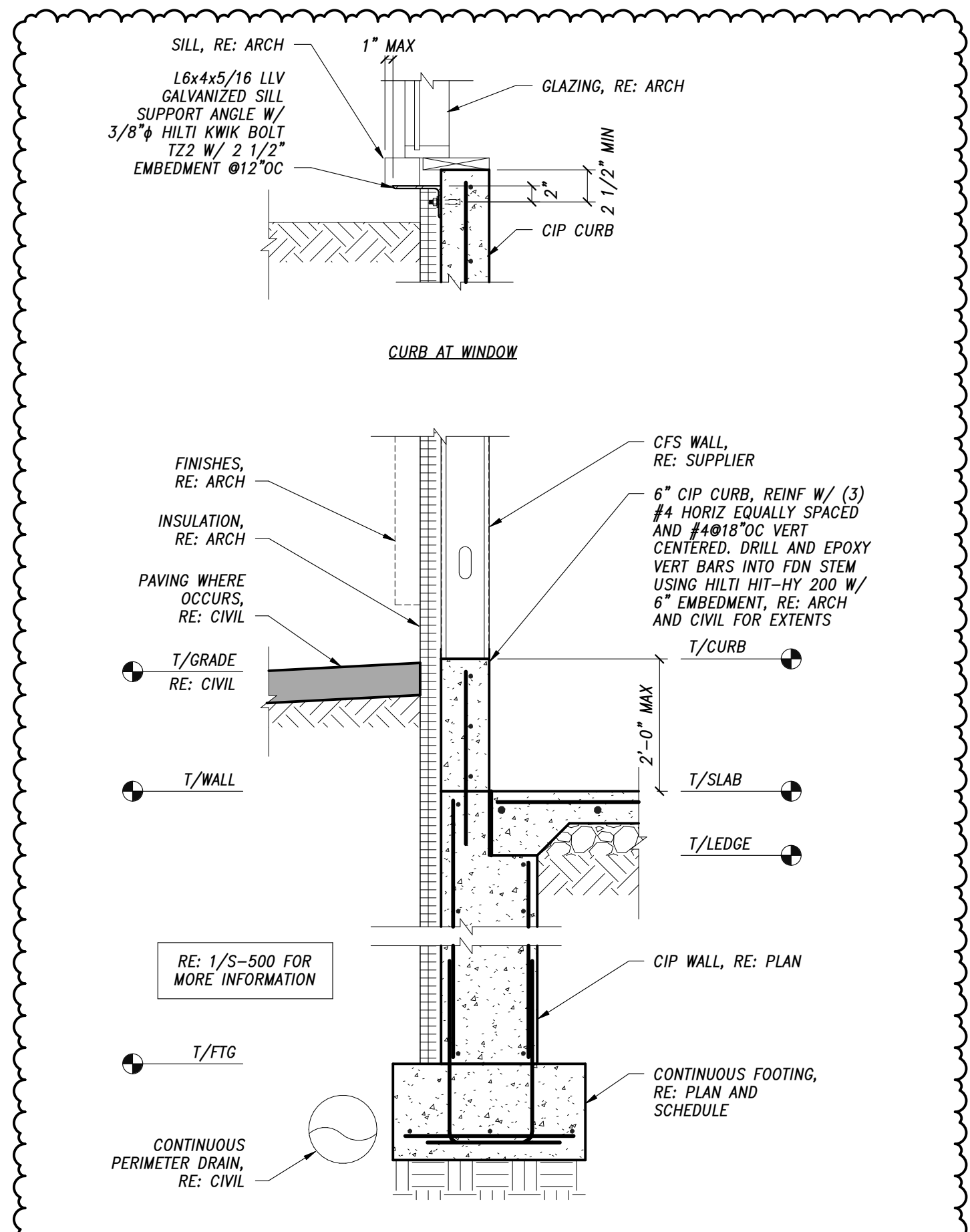
7 SLIDING DOOR JAMB BASE SUPPORT
3/4" = 1'-0"



6 GAS METER WALL
3/4" = 1'-0"



8 TYPICAL FOUNDATION WALL AT VENEER WITH CURB
3/4" = 1'-0"



8 TYPICAL FOUNDATION WALL AT VENEER WITH CURB
3/4" = 1'-0"

PROJ. NO. 117033.00
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 2021-12-17

REVISIONS:

2	11/18/2022	ADDENDUM #3
8	12/23/2023	CC20-004
RF1 483	6/13/2023	RF1 483
AS1-013	12/20/2023	AS1-013
AS1-015	4/12/2024	AS1-015
RF1 1251	5/8/2024	RF1 1251

ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL

SHEET TITLE:
FOUNDATION DETAILS

SCALE: As Indicated
SHEET NUMBER

PROJECT KEYNOTES	
NO.	DESCRIPTION
33.01	BELOW GRADE PERIMETER FOUNDATION DRAINAGE SYSTEM, RE: SHEET A-099 AND CIVIL DRAWINGS FOR CONNECTION



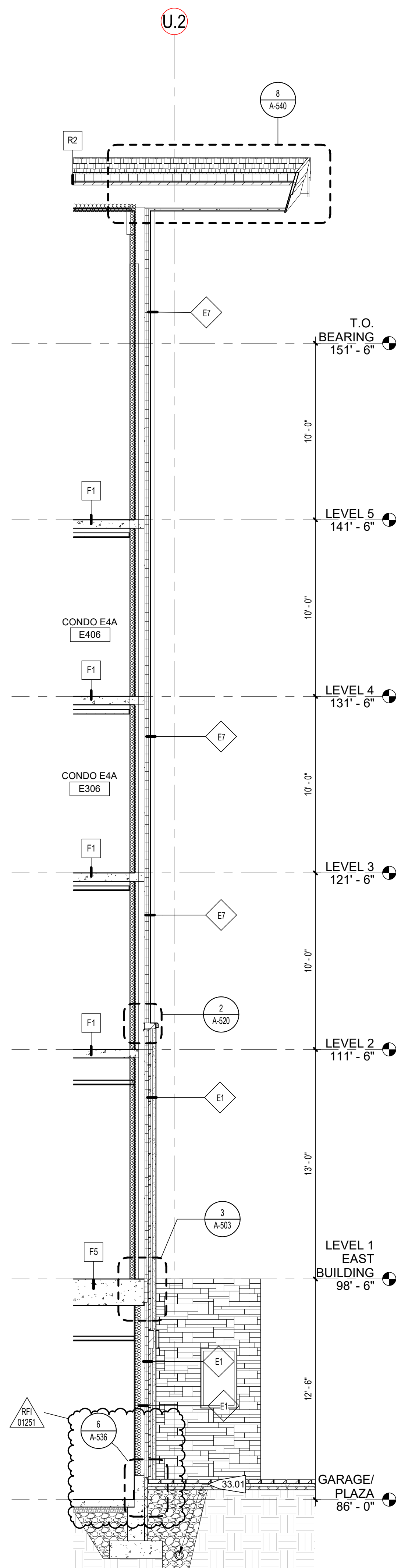
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ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

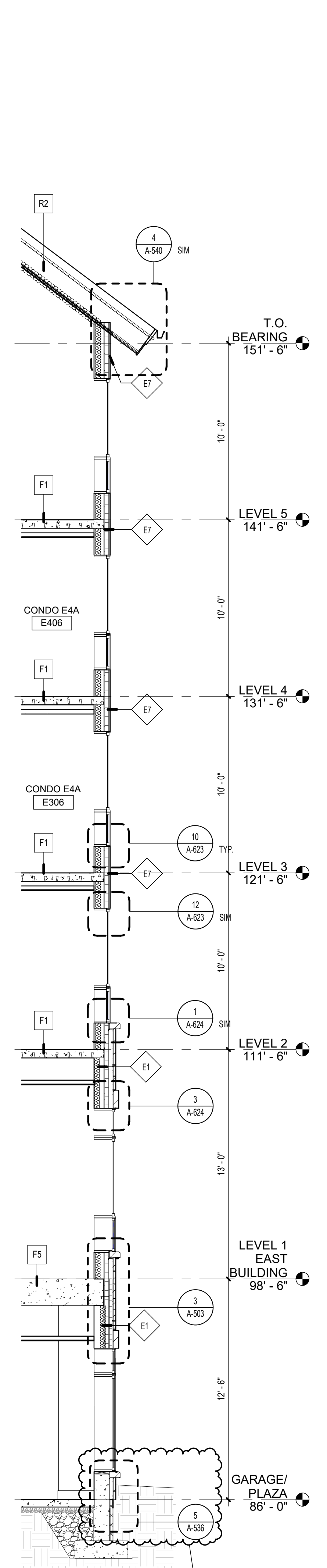
PROJ. NO. 117033.00
DRAWN: OZ
CHECKED: Checker
APPROVED: Approver
DATE: 2021-12-17
REVISIONS:
1 11/18/21 BUILDING PERMIT RESUBMITTAL
7 11/18/22 ADDENDUM #3
RFI 01251 05/09/24 RFI-SE CORNER..

© OZ ARCHITECTURE

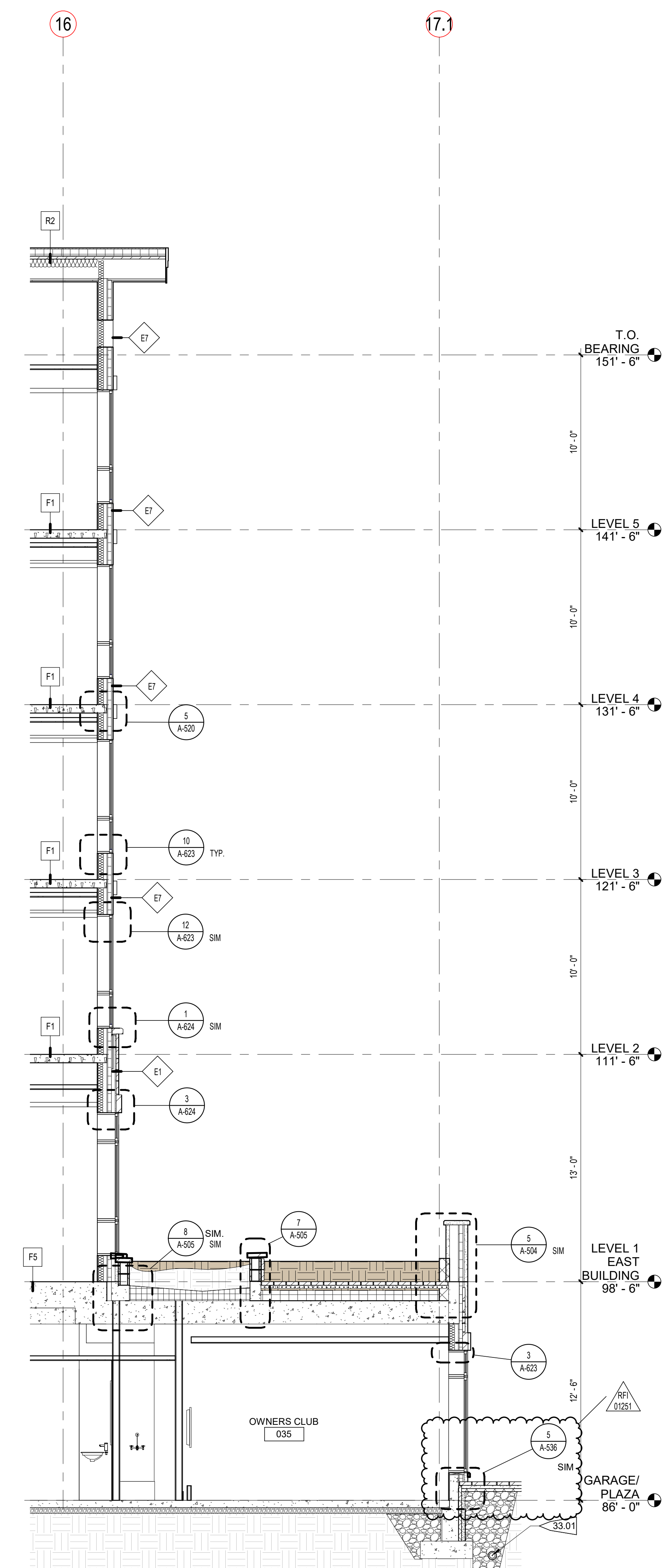
ONE RIVER RUN
ISSUED FOR:
GMP / BUILDING PERMIT RESUBMITTAL
SHEET TITLE:
WALL SECTIONS - EAST BUILDING
SCALE: 1/4" = 1'-0"
SHEET NUMBER
A-316



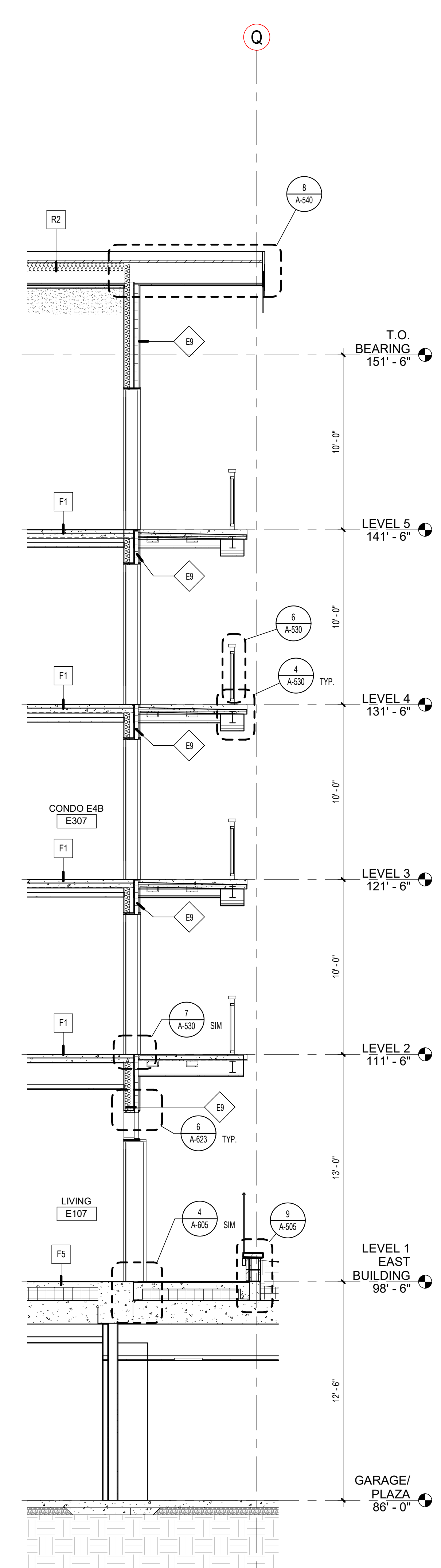
6 EB @ E. PODIUM FITNESS WALL
1/4" = 1'-0"



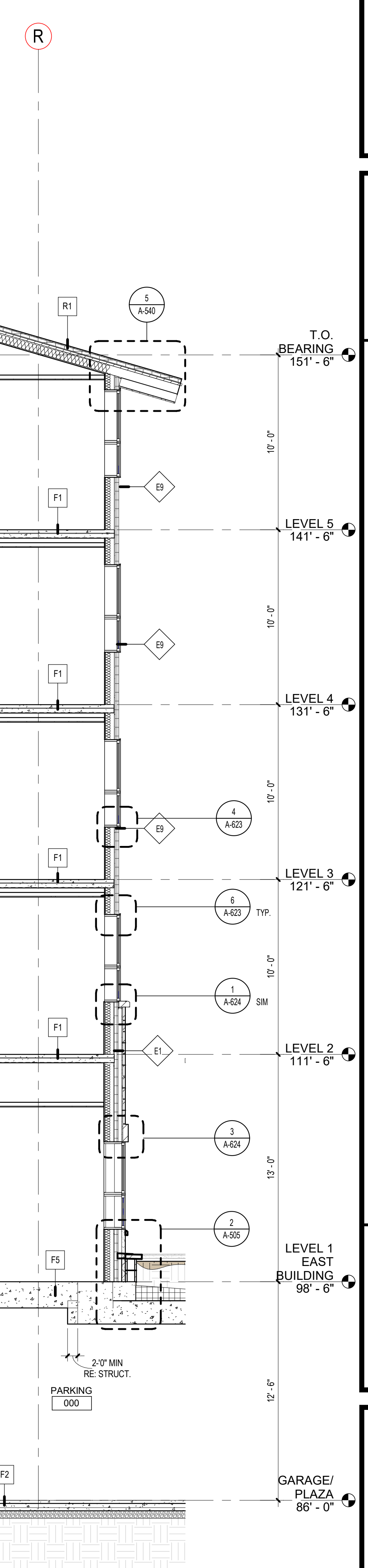
5 EB @ S. PODIUM FITNESS WIN.
1/4" = 1'-0"



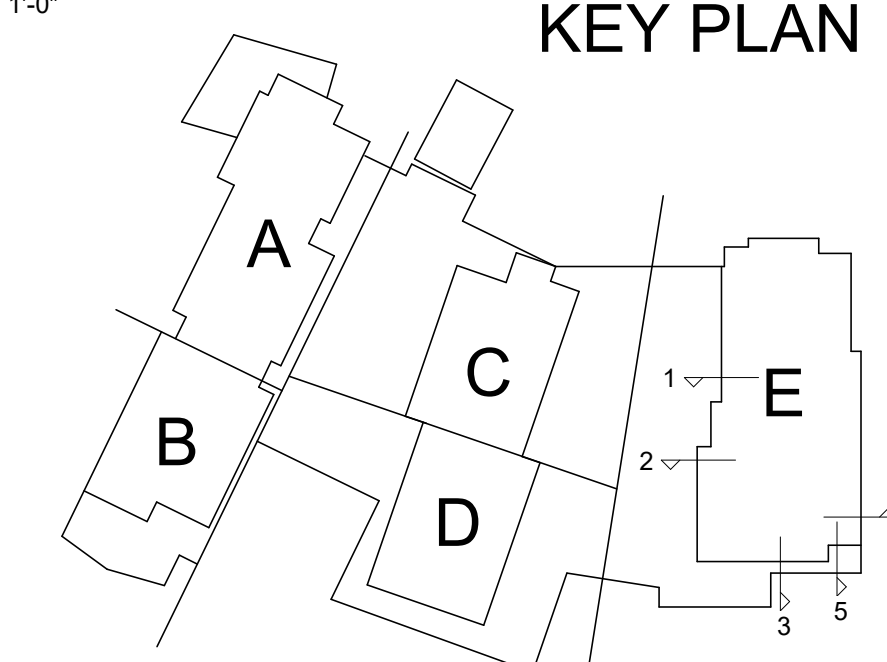
3 EB @ SOUTH PODIUM CLUB/LOUNGE
1/4" = 1'-0"



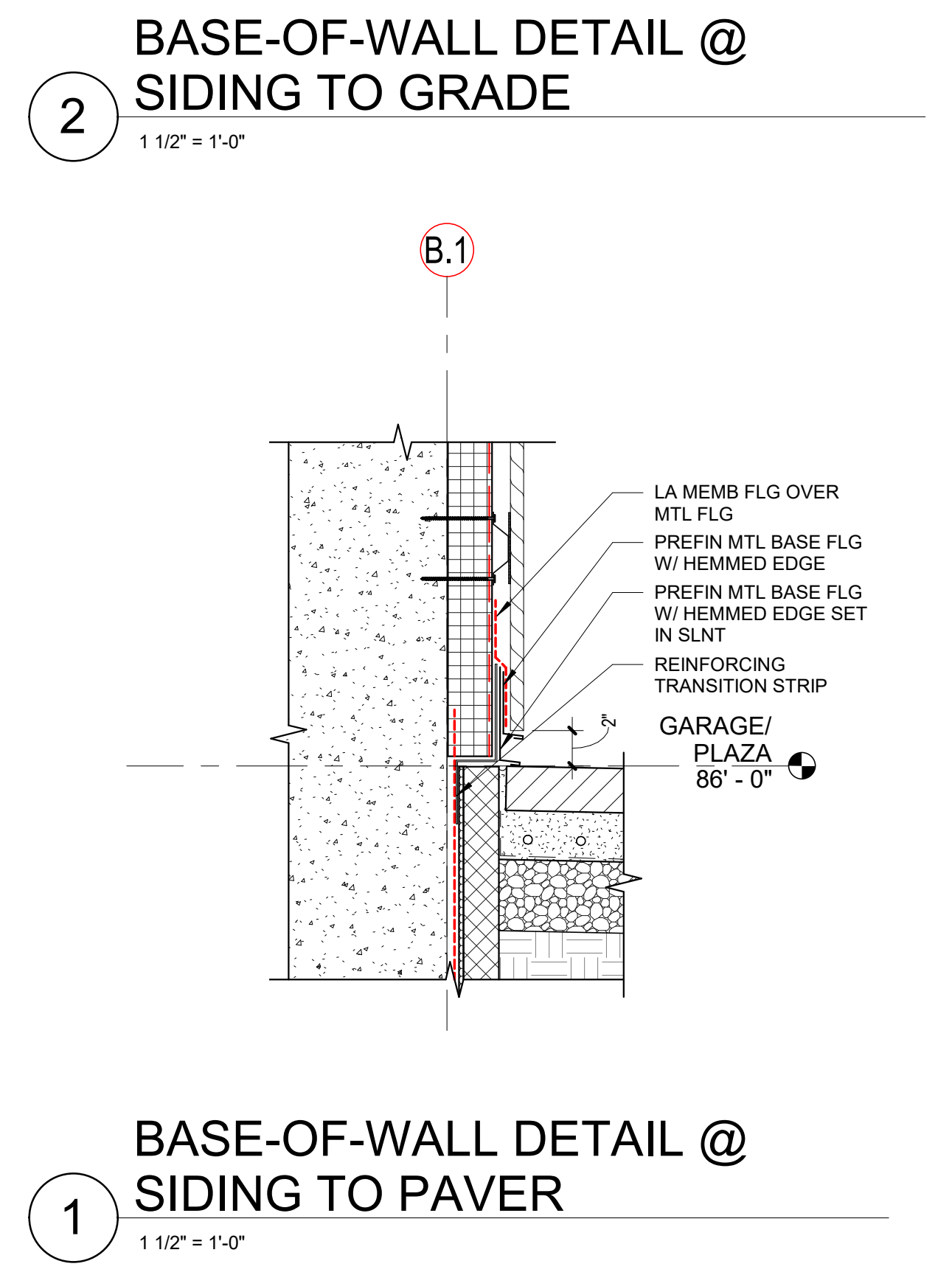
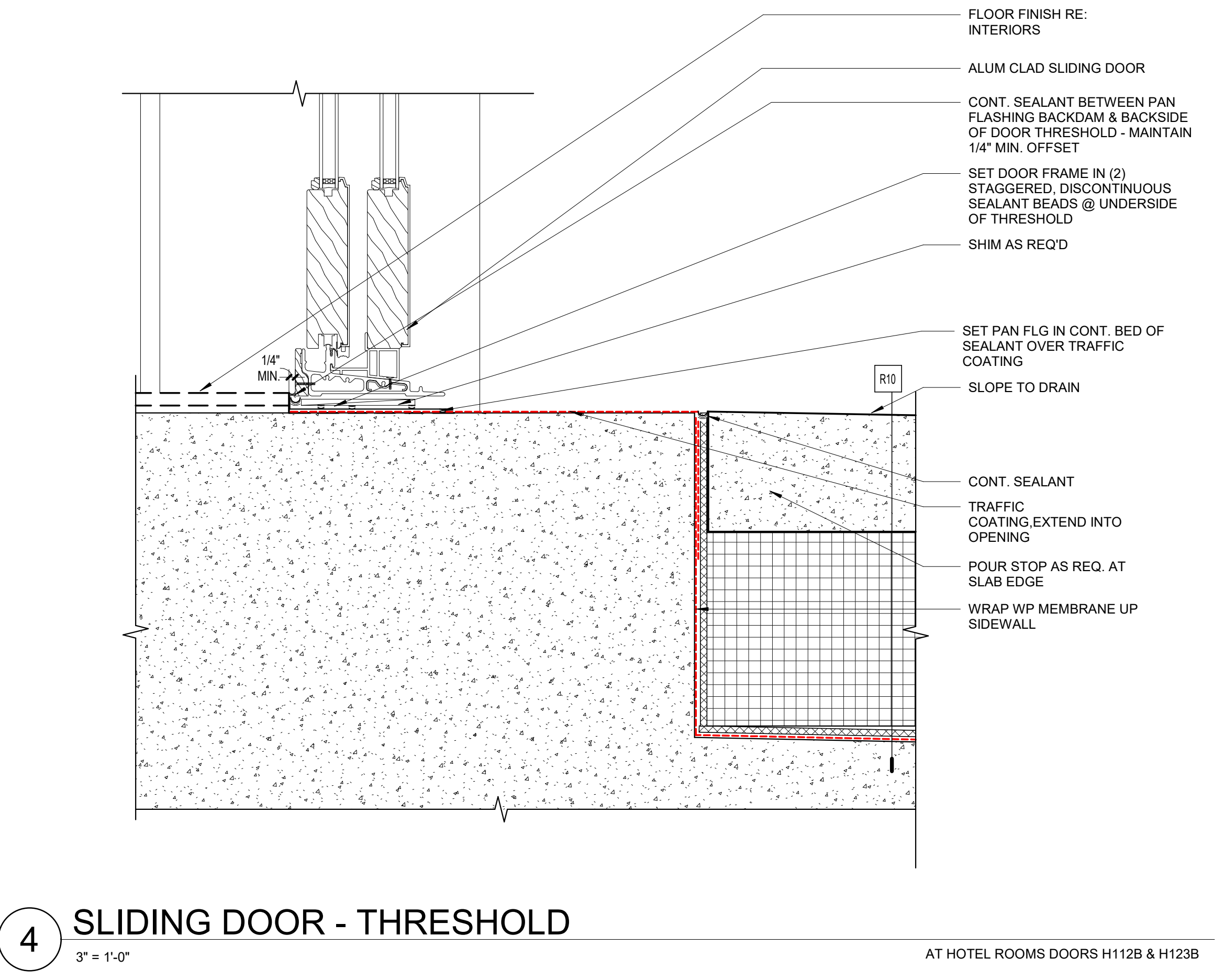
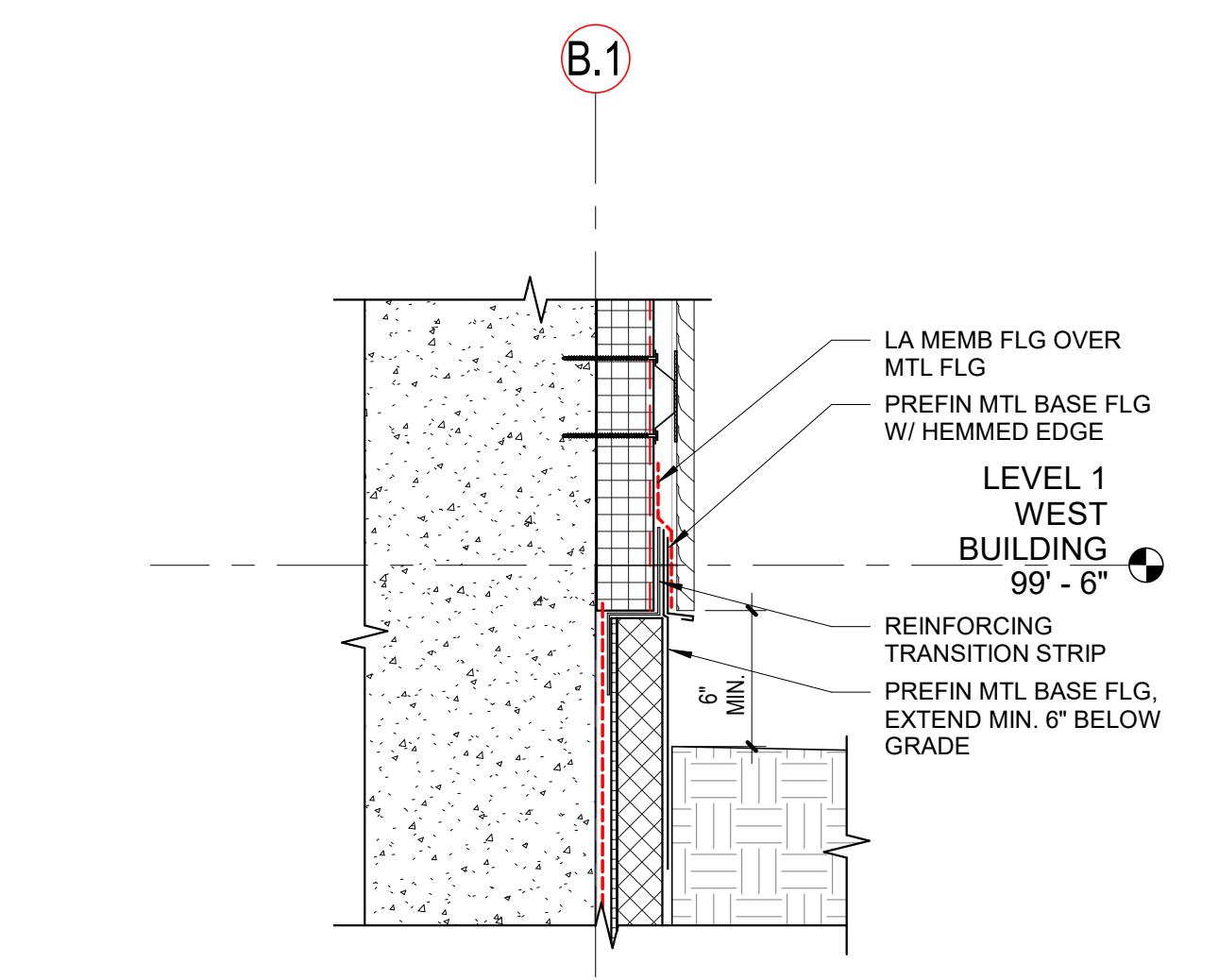
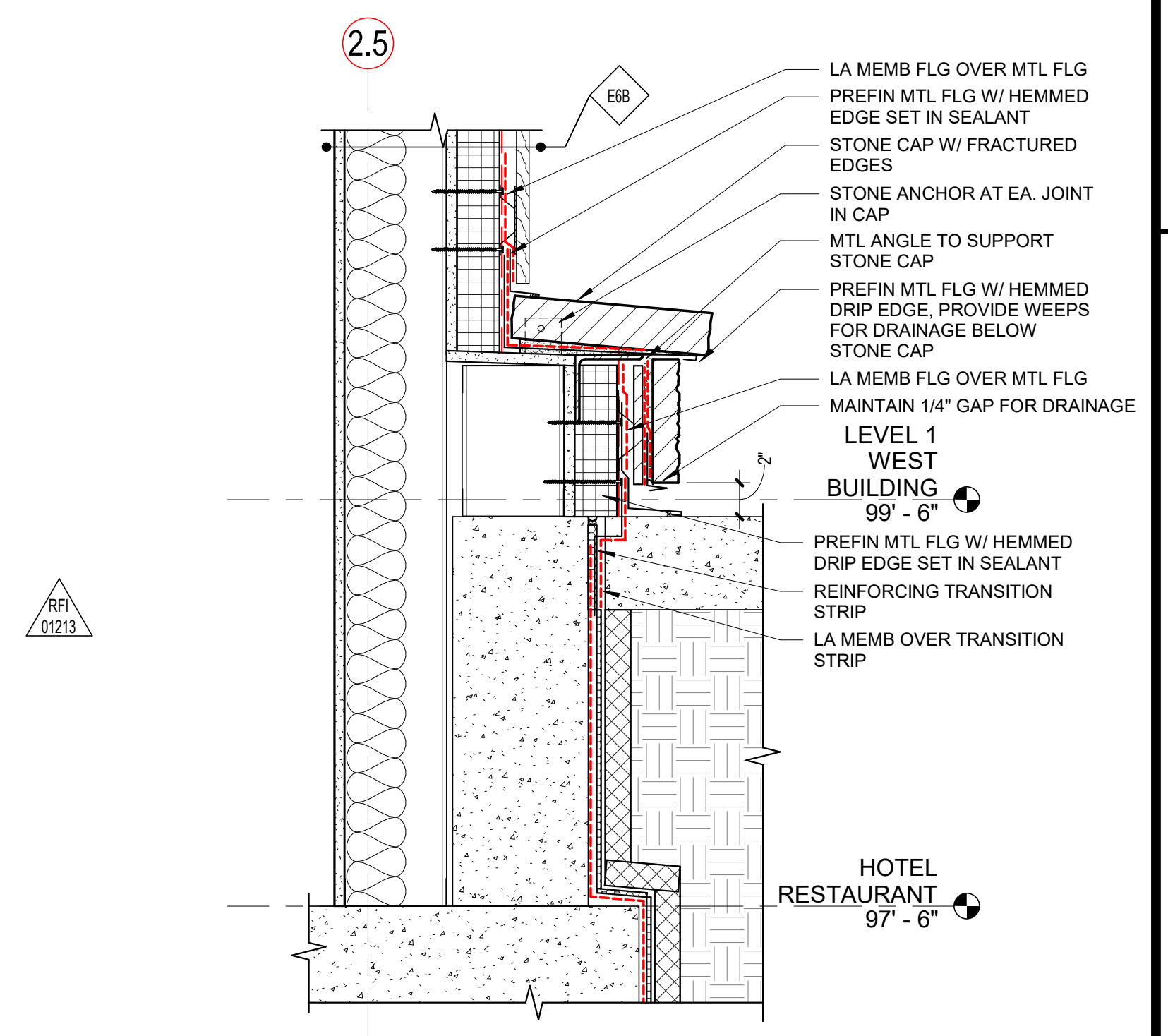
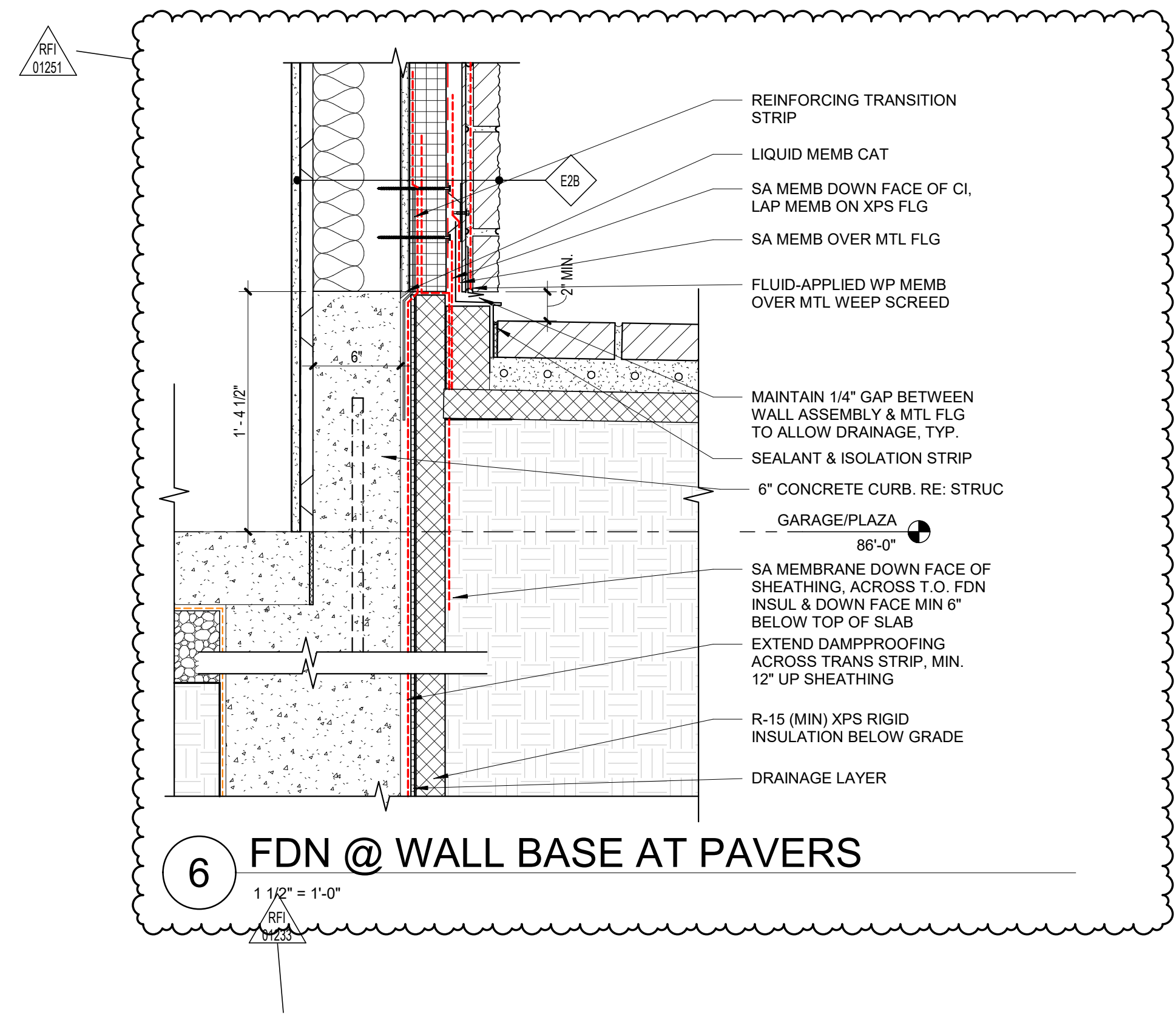
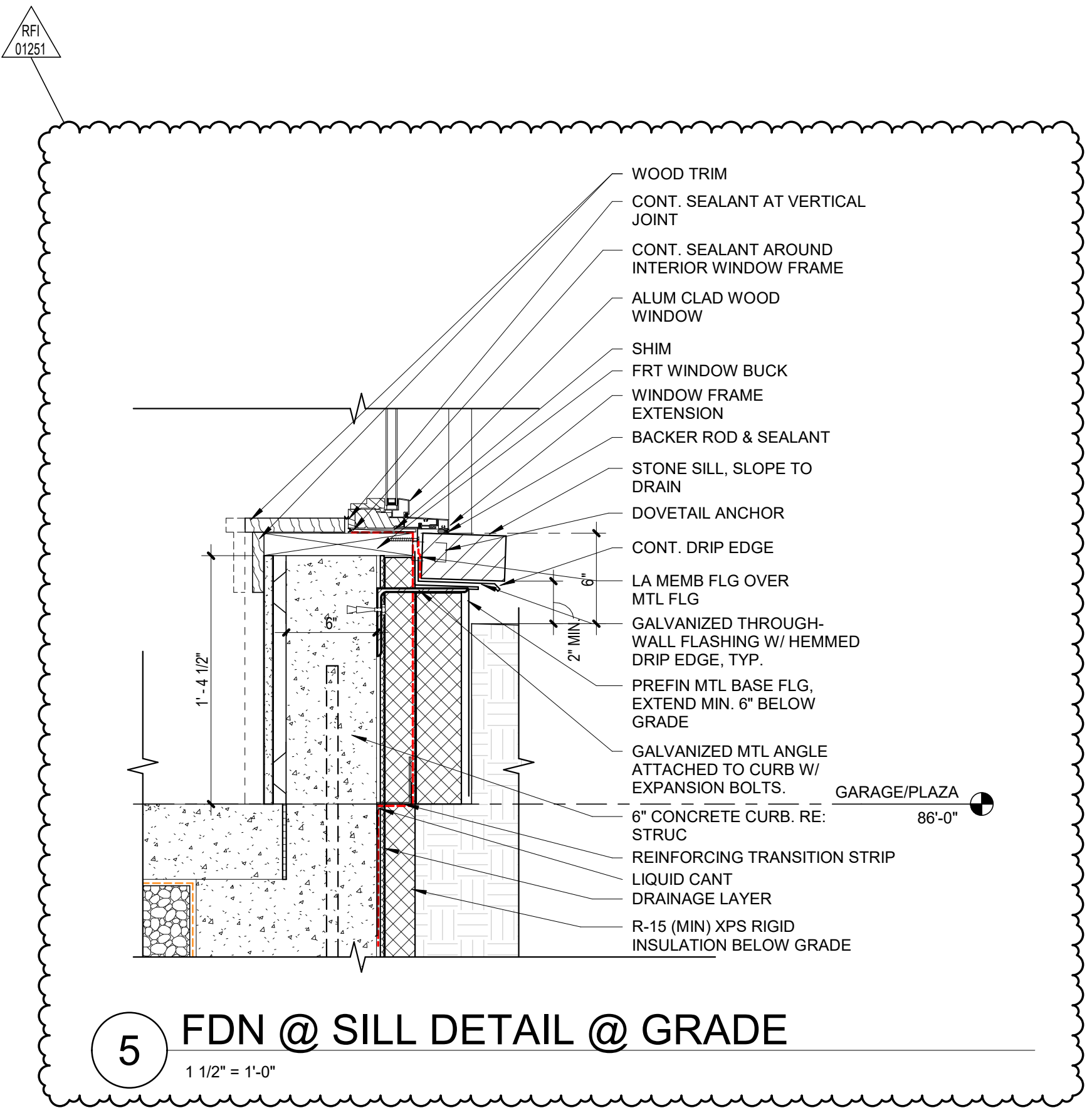
2 EB @ WEST PATIO DOORS
1/4" = 1'-0"



1 EB @ WEST ELEV. PLANTER
1/4" = 1'-0"



5/15/2024 11:16:47 AM BIM 360://117033.00 One River Run/117033_Kingdred_A21_Central.rvt



6/15/2024 11:17:45 AM BIM 360//117033.00 One River Run//117033_Kindred_A21_Consultant