

RECORD COPY of ASI-022, included as  
5 of 6 ASIs for reference with SPA-03

PROJECT NAME:	One River Run (Kindred) 75 Hunki Dori Ct. Keystone, CO 80435	ASI #:	022	<input checked="" type="checkbox"/> OWNER
PROJECT #:	117033	DATE OF ISSUANCE:	06/03/2024	<input checked="" type="checkbox"/> ARCHITECT
OWNER:	One River Run Acquisition Keystone Investments, LLC 132 West Main Street, Suite D Aspen, CO 81611	ARCHITECT:	OZ Architecture, Inc.	<input type="checkbox"/> CONSULTANT
		TO CONTRACTOR:	PCL Construction Services, Inc	<input checked="" type="checkbox"/> CONTRACTOR
		CONTRACT FOR:	GMP/Building Permit Resubmittal	<input type="checkbox"/> FIELD
		CONTRACT DATED:	September 23, 2021	<input type="checkbox"/>

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

DESCRIPTION: This ASI provides updated Civil drawings to coordinate grading changes required to provide adequate cover over an existing fiberoptic (FO) line that runs under the N-S drive and sidewalk adjacent to the Red Hawk property. These changes were initially addressed by the Design Team in response to RFI-01229 and are hereby issued as ASI-022 to coordinate the changes to the approved Construction Documents on file with Summit County Building Department. Refer to the attached letter from Tetra Tech dated 5/29/24 for additional information on changes to the approved civil plans. It should be noted that these changes DO NOT impact the approved exterior elevations.

ATTACHMENTS:

Nine (9) full size revised Civil Sheets; C-104, C-105, C-108, C-109, C-113, C-201, C-219, C-504 and C-505.

ISSUED BY: Tim Ross, Senior Project Architect

OZ ARCHITECTURE INC.

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**To:** Owner, Contractor, Project File

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**Project Name:** Kindred / One River Run

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**From:** Chris Durloo, Keaton Scanlan – Tetra Tech

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**Date of Issuance:** May 29, 2024

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**Subject:** Kindred/One River Run – ASI-022

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This ASI forms a part of the Contract Documents and modifies original Drawings dated 12/17/2021, as noted below. The updated civil drawings coordinate grading changes to provide cover over a previously installed fiberoptic (FO) line that run under the driveway and sidewalk adjacent to Red Hawk property. The changes are associated with RFI-01229.

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**Description:**

**Revised Drawing per ASI-022:**

**Sheet C-104 – Civil Site Plan**

- 42" Vertical Curb replaces Boulder Wall on Lot 4A-1 at southeast corner of site. No boulder wall changes to offsite improvement on Red Hawk Property.

**Sheet C-105 – Overall Grading and Drainage Plan**

- 42" Vertical Curb replaces Boulder Wall on Lot 4A-1 at southeast corner of site. No boulder wall changes to offsite improvement on Red Hawk Property.

**Sheet C-108 – Detailed Grading and Drainage Plan**

- 42" Vertical Curb elevations and transition design information.
- Section of curb and gutter adjacent to Red Hawk property updated to spill gutter.

**Sheet C-109 – Composite Utility Plan**

- Vertical Curb clearance from Fire Hydrant to be a minimum of 3' clear.
- Only 2 Bollards required along fire access side of fire hydrant.

**Sheet C-113 – Concrete Paving Joint Layout Plan**

- Transverse contraction joint spacing designed for 42" Vertical Curb

**Sheet C-201 – Hunki Dori Court Plan & Profile**

- 42" Vertical Curb added
- Section of curb and gutter adjacent to Red Hawk property updated to spill gutter. Transitions designed.

**Sheet C-219 – Storm Sewer Plan & Profile**

- 42" Vertical Curb shown

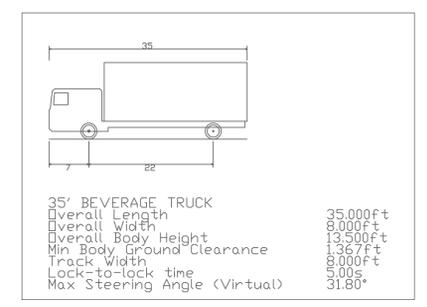
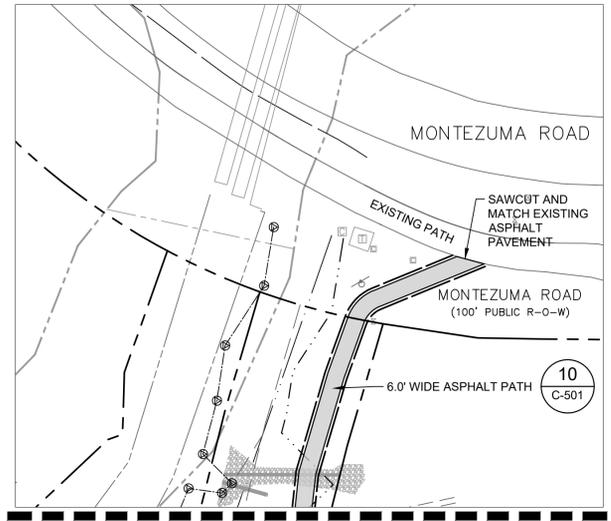
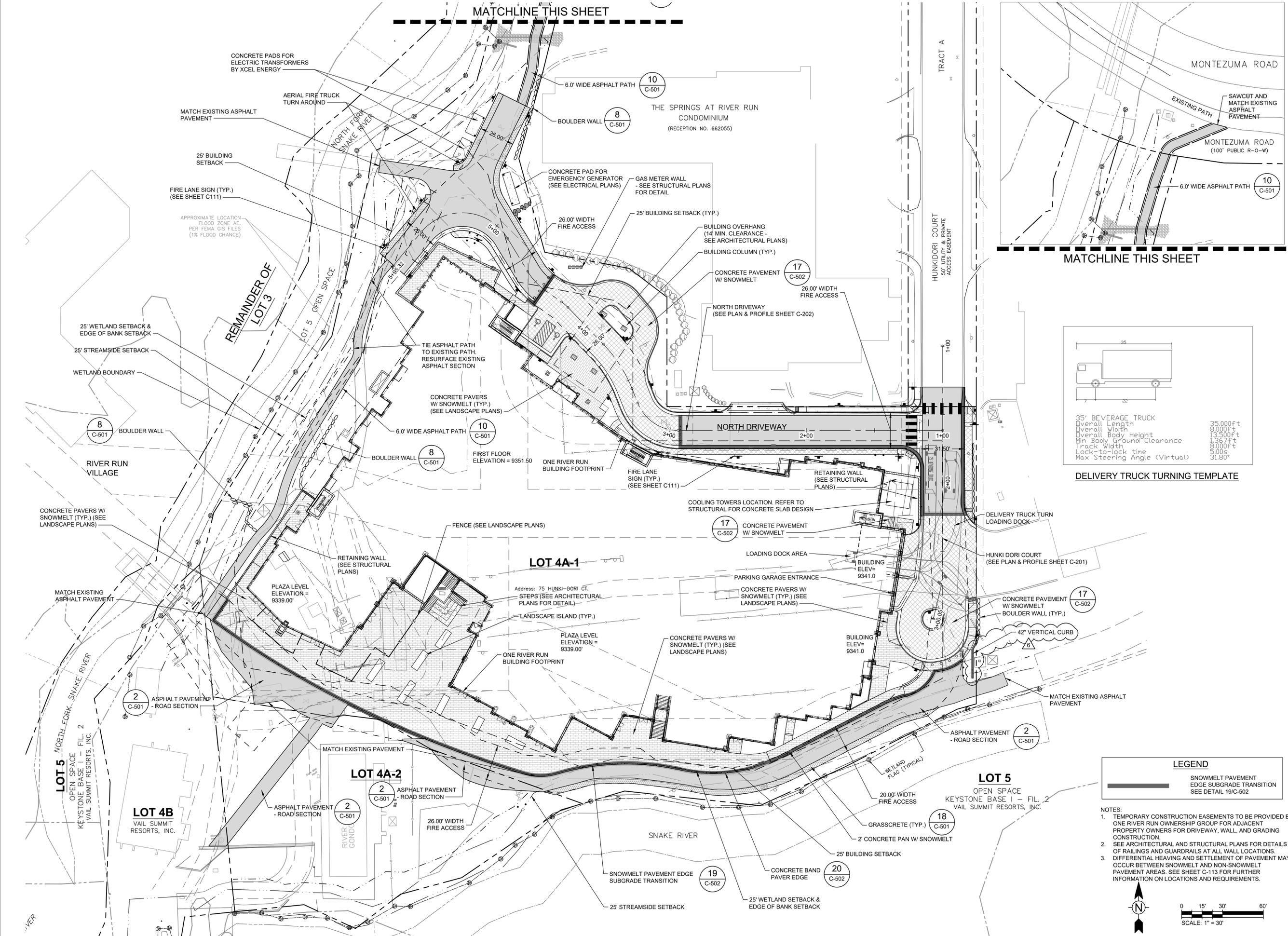
**Sheet C-504 – Civil Details**

- Detail 12/C-504 added for Vertical Curb.

**Sheet C-505 – ADA Accessible Plan**

- Updated grades for accessible route for change to curb and gutter with spill gutter section.

5/31/2024 11:00:32 AM - O:\PROJECTS\BRECKENRIDGE\23526\2001\CAD\SITE\FILES\C104 SITE PLAN.DWG - KONDIO, ETHAN

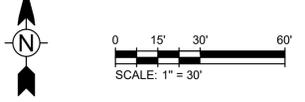


DELIVERY TRUCK TURNING TEMPLATE

**LEGEND**

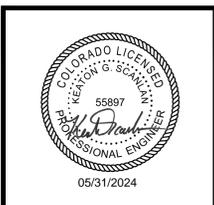
	SNOWMELT PAVEMENT
	EDGE SUBGRADE TRANSITION
	SEE DETAIL 19/C-502

- NOTES:**
- TEMPORARY CONSTRUCTION EASEMENTS TO BE PROVIDED BY ONE RIVER RUN OWNERSHIP GROUP FOR ADJACENT PROPERTY OWNERS FOR DRIVEWAY, WALL, AND GRADING CONSTRUCTION.
  - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS OF RAILINGS AND GUARDRAILS AT ALL WALL LOCATIONS.
  - DIFFERENTIAL HEAVING AND SETTLEMENT OF PAVEMENT MAY OCCUR BETWEEN SNOWMELT AND NON-SNOWMELT PAVEMENT AREAS. SEE SHEET C-113 FOR FURTHER INFORMATION ON LOCATIONS AND REQUIREMENTS.



**OZ ARCHITECTURE**

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**TETRA TECH**

130 SKI HILL ROAD SUITE 140  
BRECKENRIDGE, COLORADO 80424  
PHONE: (970)453-6394

**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

PROJ. NO. 23526-20001  
DRAWN: KGS  
CHECKED: CDD  
APPROVED: CDD  
DATE: 2021-12-17  
△ 05/28/24 - VERTICAL CURB

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ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL  
SHEET TITLE:  
CIVIL SITE PLAN  
SCALE: 1" = 30'  
SHEET NUMBER  
**C-104**

5/31/2024 11:00:49 AM - O:\PROJECTS\BRECKENRIDGE\23526-20001\CAD\SHEETFILES\C105 GRADING AND DRAINAGE PLAN.DWG - KONDO, ETHAN



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APPROVED: CDD  
DATE: 2021-12-17  
6 - 05/28/24 - VERTICAL CURB

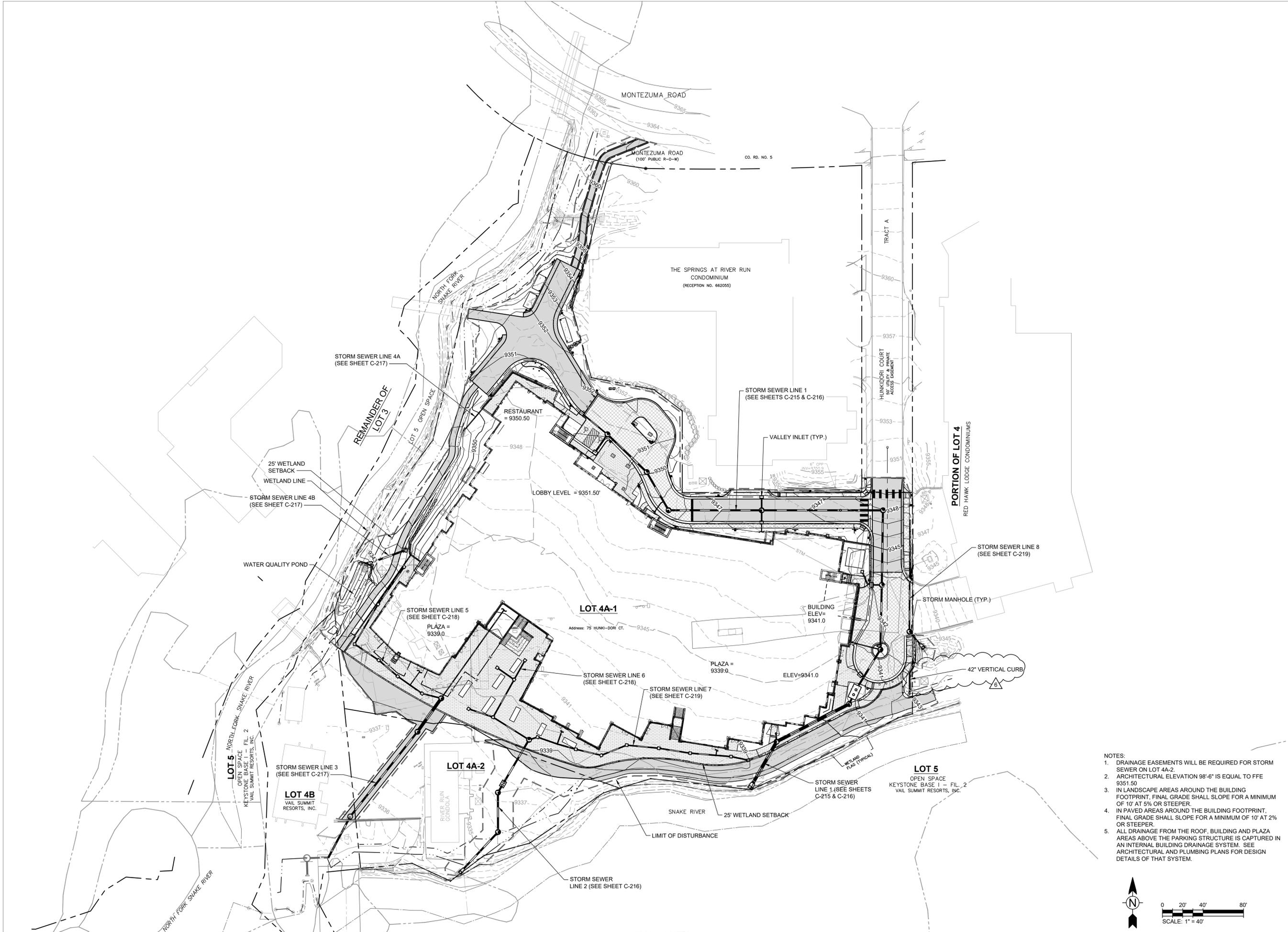
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ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL

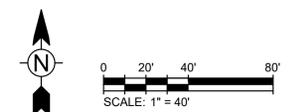
SHEET TITLE:  
OVERALL GRADING &  
DRAINAGE PLAN

SCALE: 1" = 40'  
SHEET NUMBER

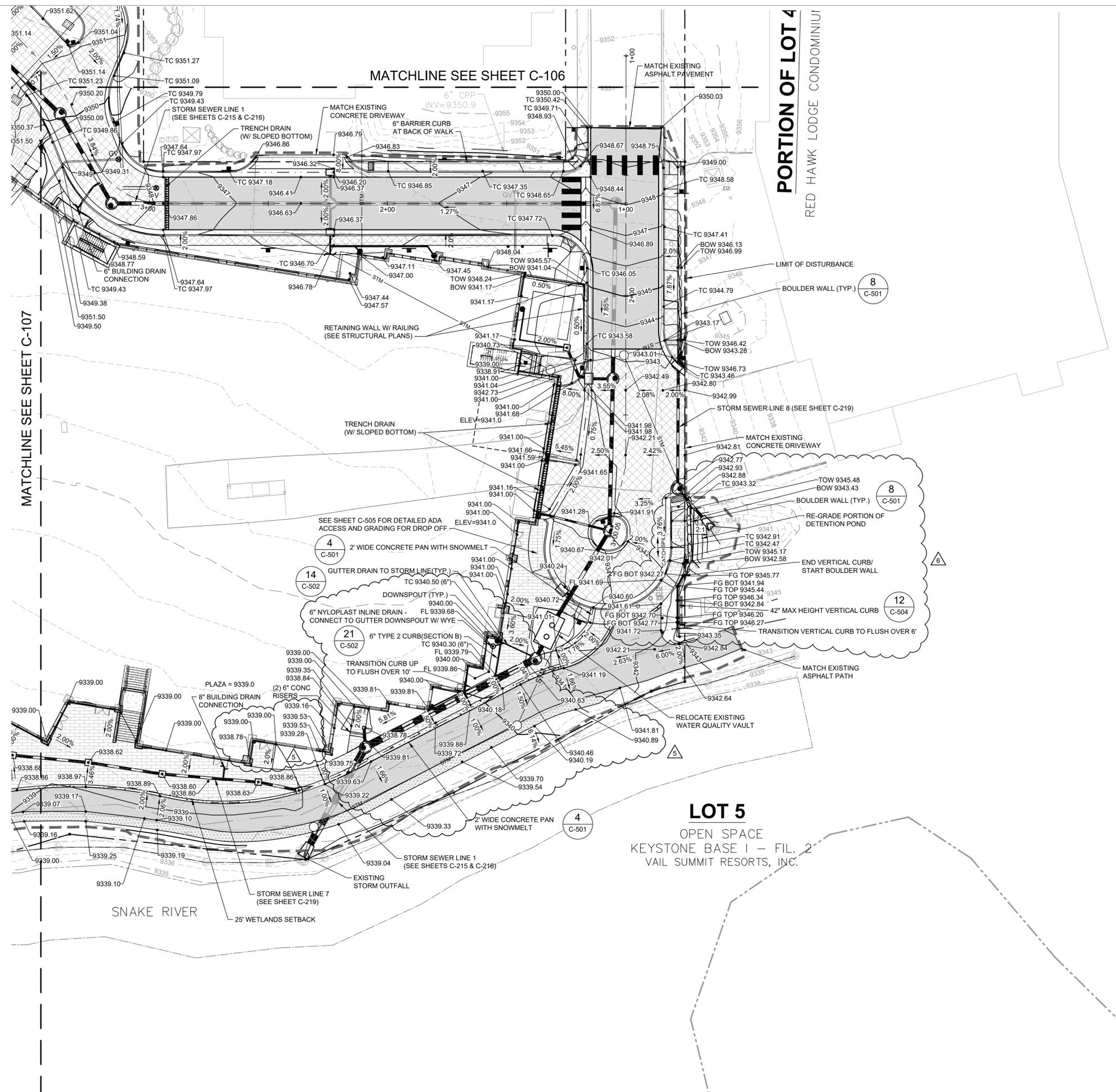
**C-105**



- NOTES:
1. DRAINAGE EASEMENTS WILL BE REQUIRED FOR STORM SEWER ON LOT 4A-2.
  2. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
  3. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
  4. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.
  5. ALL DRAINAGE FROM THE ROOF, BUILDING AND PLAZA AREAS ABOVE THE PARKING STRUCTURE IS CAPTURED IN AN INTERNAL BUILDING DRAINAGE SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DESIGN DETAILS OF THAT SYSTEM.



5/31/2024 11:01:10 AM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHEETFILES\C106 DETAILED GRADING AND DRAINAGE PLAN.DWG - KONDO, ETHAN



MATCHLINE SEE SHEET C-106

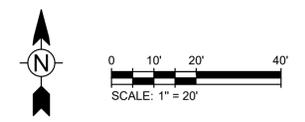
PORTION OF LOT 4  
RED HAWK LODGE CONDOMINIUM

MATCHLINE SEE SHEET C-107

**LOT 5**  
OPEN SPACE  
KEYSTONE BASE I - FIL. 2  
VAIL SUMMIT RESORTS, INC.

SNAKE RIVER

- NOTES:
1. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
  2. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
  3. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.



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**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

PROJ. NO. 23526-20001  
DRAWN: KGS  
CHECKED: CDD  
APPROVED: CDD  
DATE: 2021-12-17  
 5-05/13/24 - SE BUILDING CORNER  
 5-05/28/24 - VERTICAL CURB

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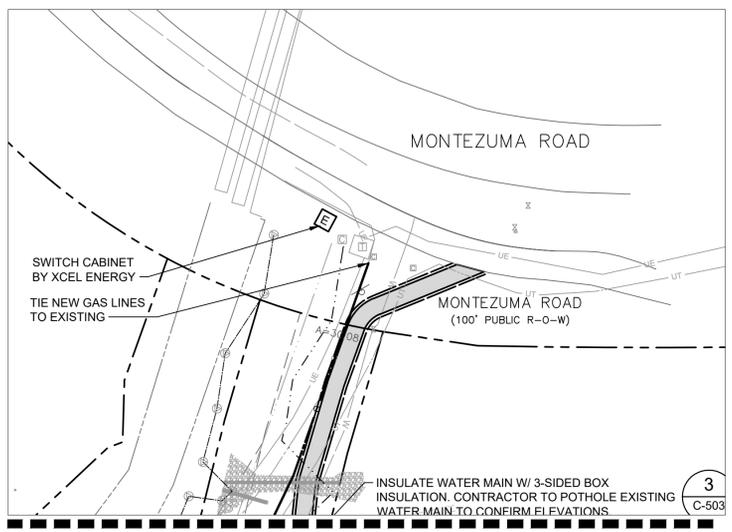
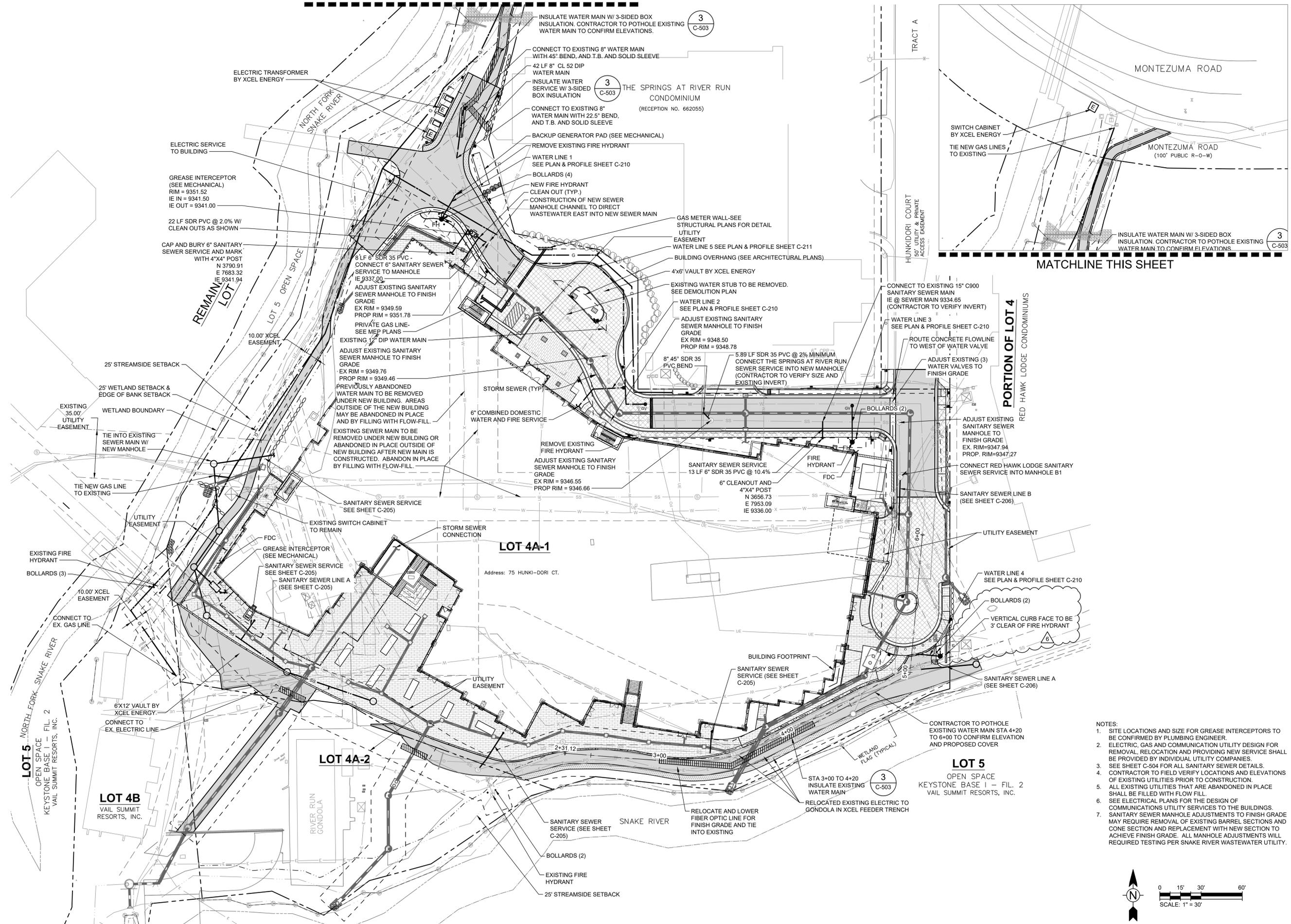
ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL  
SHEET TITLE:  
DETAILED GRADING  
AND DRAINAGE PLAN

SCALE: 1" = 20'  
SHEET NUMBER

**C-108**

5/31/2024 11:01:26 AM - O:\PROJECTS\BRECKENRIDGE\23526\2001\CAD\SHEETFILES\C106 COMPOSITE UTILITY PLAN.DWG - KONDO, ETHAN

MATCHLINE THIS SHEET



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**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

PROJ. NO. 23526-20001  
 DRAWN: KGS  
 CHECKED: CDD  
 APPROVED: CDD  
 DATE: 2021-12-17  
 05/28/24 - VERTICAL CURB

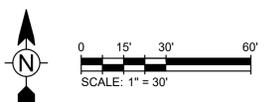
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ONE RIVER RUN  
 ISSUED FOR:  
 GMP/BUILDING PERMIT  
 RESUBMITTAL  
 SHEET TITLE:  
 COMPOSITE UTILITY PLAN

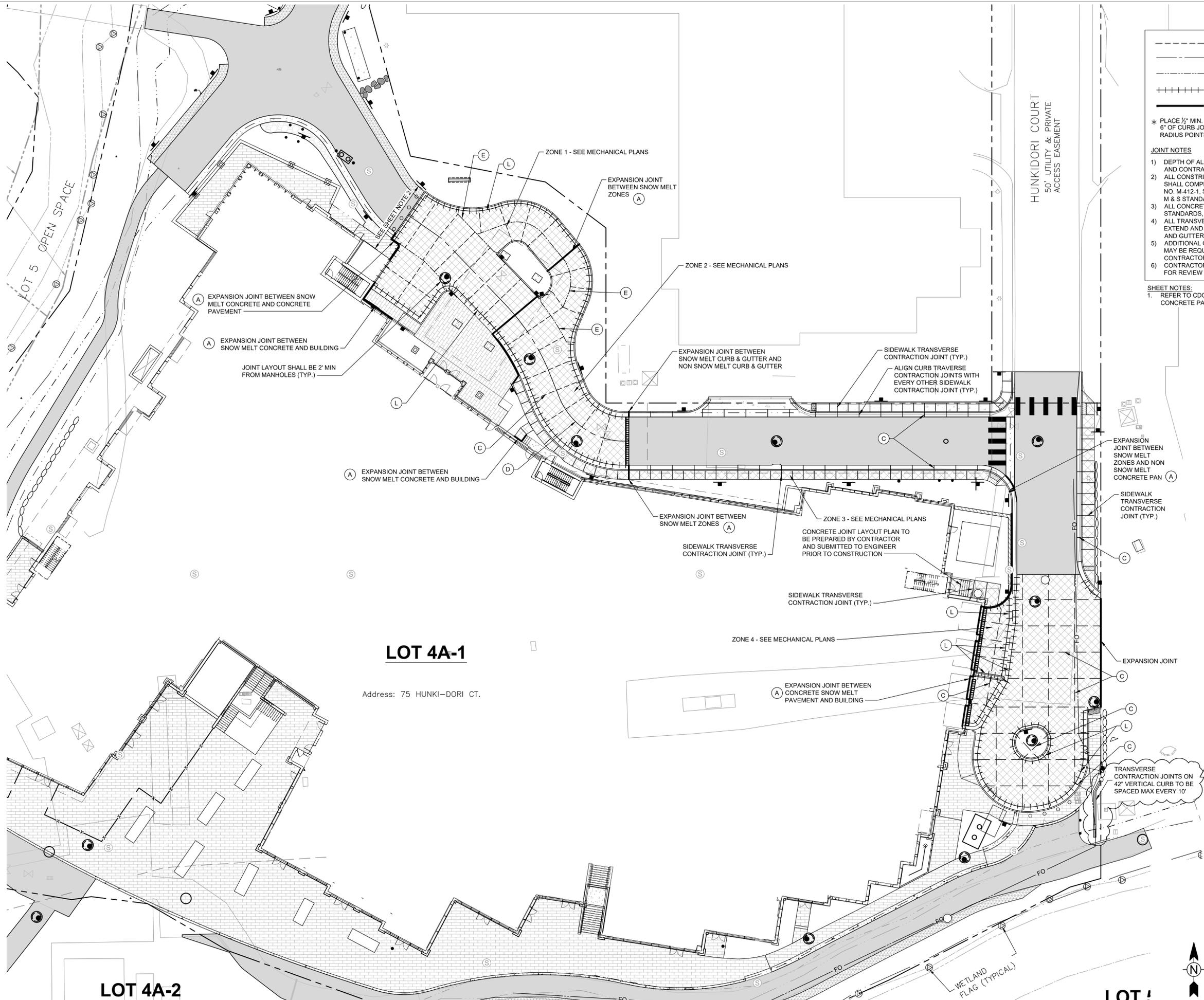
SCALE: 1" = 30'  
 SHEET NUMBER

**C-109**

- NOTES:
- SITE LOCATIONS AND SIZE FOR GREASE INTERCEPTORS TO BE CONFIRMED BY PLUMBING ENGINEER.
  - ELECTRIC, GAS AND COMMUNICATION UTILITY DESIGN FOR REMOVAL, RELOCATION AND PROVIDING NEW SERVICE SHALL BE PROVIDED BY INDIVIDUAL UTILITY COMPANIES.
  - SEE SHEET C-504 FOR ALL SANITARY SEWER DETAILS.
  - CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - ALL EXISTING UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE FILLED WITH FLOW FILL.
  - SEE ELECTRICAL PLANS FOR THE DESIGN OF COMMUNICATIONS UTILITY SERVICES TO THE BUILDINGS.
  - SANITARY SEWER MANHOLE ADJUSTMENTS TO FINISH GRADE MAY REQUIRE REMOVAL OF EXISTING BARREL SECTIONS AND CONE SECTION AND REPLACEMENT WITH NEW SECTION TO ACHIEVE FINISH GRADE. ALL MANHOLE ADJUSTMENTS WILL REQUIRE TESTING PER SNAKE RIVER WASTEWATER UTILITY.



5/31/2024 11:24:17 AM - O:\PROJECTS\BRECKENRIDGE\25526\2001\CAD\DRAWINGS\C113 CONCRETE PAVING JOINT LAYOUT.DWG - KONDOR, ETHAN



**LOT 4A-1**

Address: 75 HUNKI-DORI CT.

**LOT 4A-2**

**LEGEND**

---	TRANSVERSE CONTRACTION OR CONSTRUCTION	(C)
---	LONGITUDINAL CONSTRUCTION	(D)
---	LONGITUDINAL CONSTRUCTION	(E)
---	LONGITUDINAL CONSTRUCTION	(L)
---	EXPANSION	(A)

\* PLACE 1/2" MIN. EXPANSION JOINT FILLER IN TOP 6" OF CURB JOINT AT INTERSECTION RETURN RADIUS POINTS.

- JOINT NOTES**
- 1) DEPTH OF ALL SAWED OR TOOLED CONSTRUCTION AND CONTRACTION JOINTS SHALL BE 2.5".
  - 2) ALL CONSTRUCTION AND CONTRACTION JOINTS SHALL COMPLY WITH (INCLUDING SEALING) PLAN NO. M-412-1, SHEET 5 OF 5, OF THE JULY 2012 CDOT M & S STANDARDS.
  - 3) ALL CONCRETE JOINTS PER JULY 2012 CDOT M & S STANDARDS, PLAN NO. M-412-1, SHEET 3 OF 5.
  - 4) ALL TRANSVERSE CONTRACTION JOINTS SHALL EXTEND AND BE ALIGNED THROUGH ROAD, CURB AND GUTTER, PANS AND SIDEWALKS.
  - 5) ADDITIONAL OR DIFFERENT LOCATIONS OF JOINTS MAY BE REQUIRED DEPENDING ON HOW THE CONTRACTOR CONSTRUCTS THE PROJECT.
  - 6) CONTRACTOR SHALL SUBMIT PLAN TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

- SHEET NOTES:**
1. REFER TO CDOT STANDARD PLAN NO. M-412-1 FOR CONCRETE PAVEMENT JOINT DETAILS.



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**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**

PROJ. NO. 23526-20001  
DRAWN: KGS  
CHECKED: CDD  
APPROVED: CDD  
DATE: 2021-12-17  
05/28/24 - VERTICAL CURB

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ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL  
SHEET TITLE:  
CONCRETE PAVING  
JOINT LAYOUT PLAN

SCALE: 1" = 20'  
SHEET NUMBER

**C-113**







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ONE RIVER RUN  
75 HUNKI DORI CT.  
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APPROVED: CDD  
DATE: 2021-12-17  
05/28/24 - VERTICAL CURB

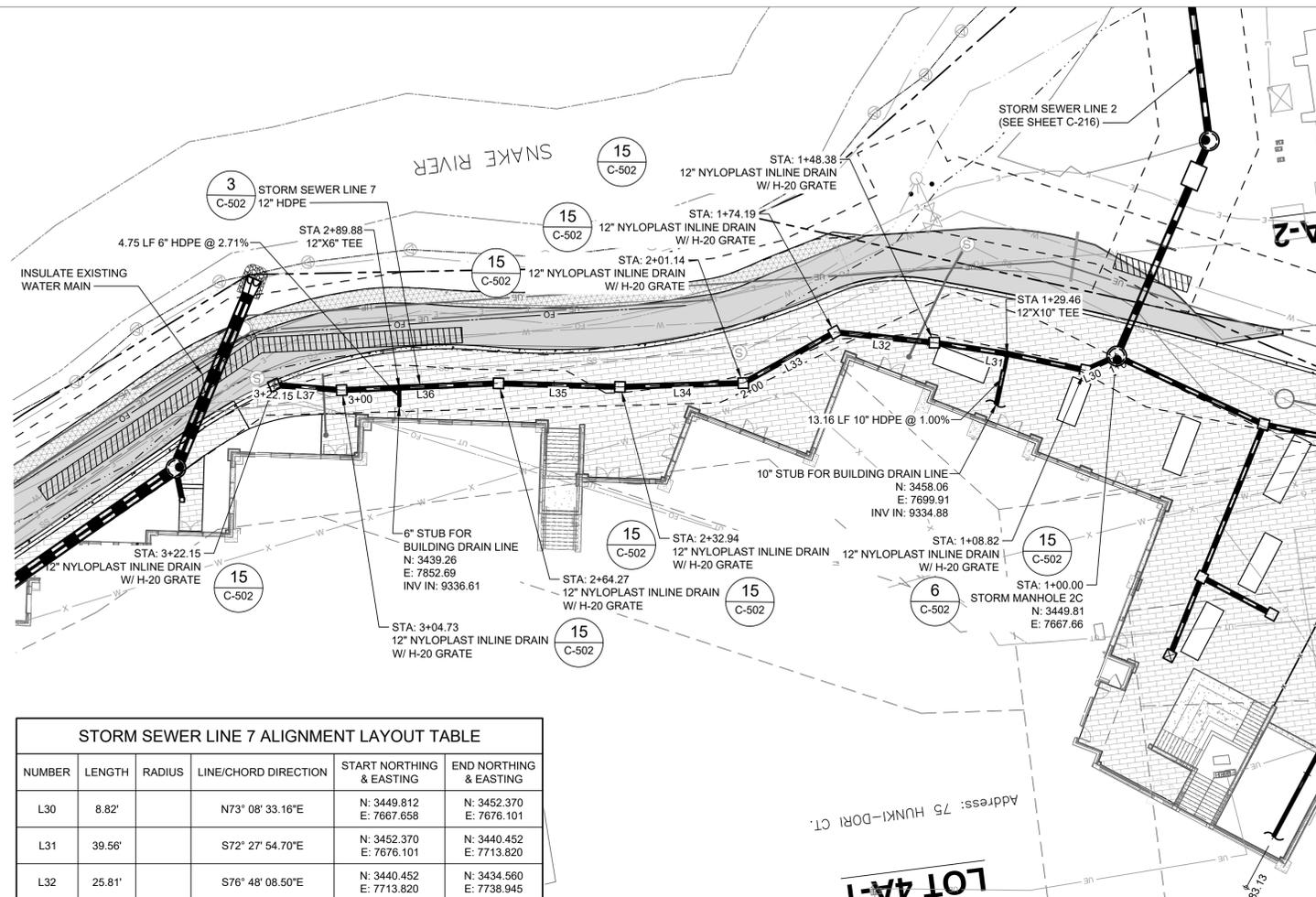
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ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL

SHEET TITLE:  
STORM SEWER  
PLAN & PROFILE

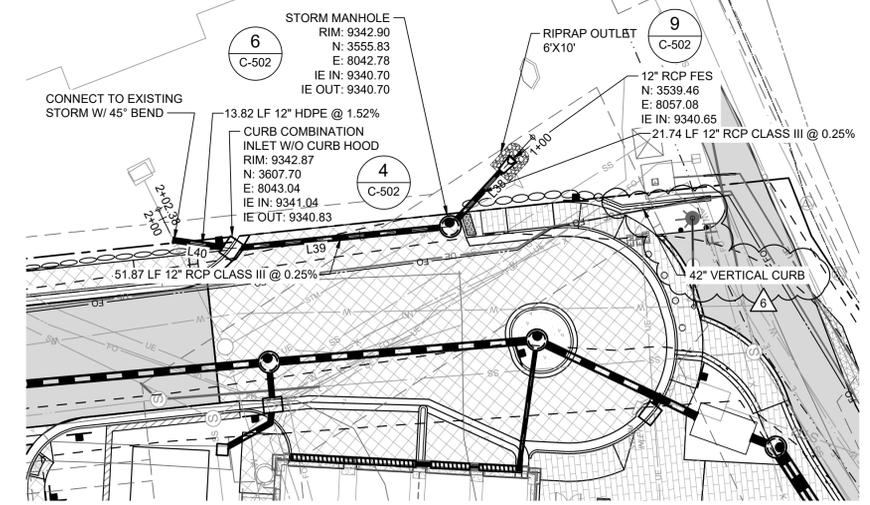
SCALE: 1" = 20'  
SHEET NUMBER

C-219



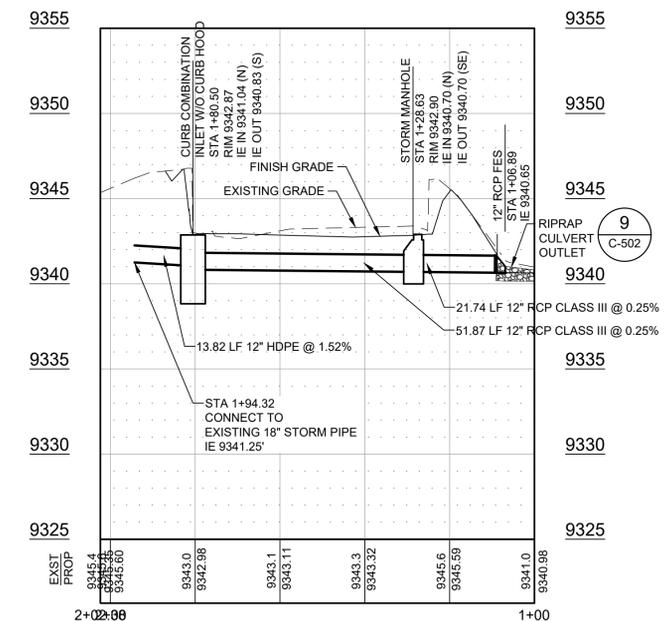
STORM SEWER LINE 7 ALIGNMENT LAYOUT TABLE					
NUMBER	LENGTH	RADIUS	LINE/CHORD DIRECTION	START NORTHING & EASTING	END NORTHING & EASTING
L30	8.82'		N73° 08' 33.16"E	N: 3449.812 E: 7667.658	N: 3452.370 E: 7676.101
L31	39.56'		S72° 27' 54.70"E	N: 3452.370 E: 7676.101	N: 3440.452 E: 7713.820
L32	25.81'		S76° 48' 08.50"E	N: 3440.452 E: 7713.820	N: 3434.560 E: 7738.945
L33	26.96'		N68° 16' 34.62"E	N: 3434.560 E: 7738.945	N: 3444.539 E: 7763.989
L34	31.80'		S84° 30' 30.55"E	N: 3444.539 E: 7763.989	N: 3441.496 E: 7795.639
L35	31.33'		S81° 07' 32.82"E	N: 3441.496 E: 7795.639	N: 3436.663 E: 7826.590
L36	40.47'		S85° 14' 45.10"E	N: 3436.663 E: 7826.590	N: 3433.309 E: 7866.917
L37	17.41'		S78° 26' 15.20"E	N: 3433.309 E: 7866.917	N: 3429.819 E: 7883.977

PLAN VIEW STORM SEWER LINE 7

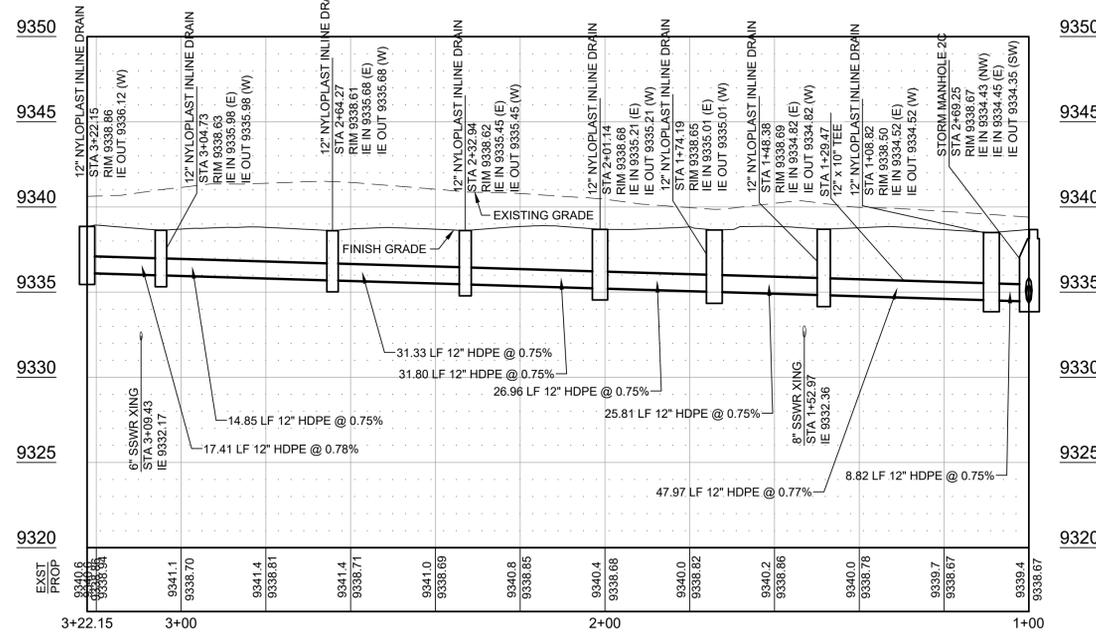


PLAN VIEW STORM SEWER LINE 8

STORM SEWER LINE 8 ALIGNMENT LAYOUT TABLE					
NUMBER	LENGTH	RADIUS	LINE/CHORD DIRECTION	START NORTHING & EASTING	END NORTHING & EASTING
L38	28.63'		N41° 09' 04.24"W	N: 3534.275 E: 8061.620	N: 3555.830 E: 8042.781
L39	51.87'		N0° 17' 07.89"E	N: 3555.830 E: 8042.781	N: 3607.700 E: 8043.040
L40	13.82'		N14° 11' 20.16"E	N: 3607.700 E: 8043.040	N: 3621.100 E: 8046.428

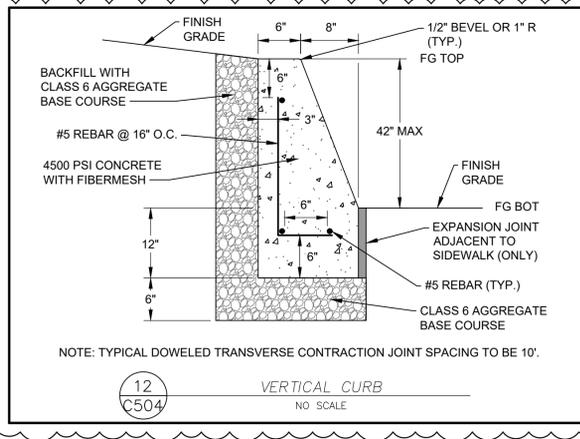
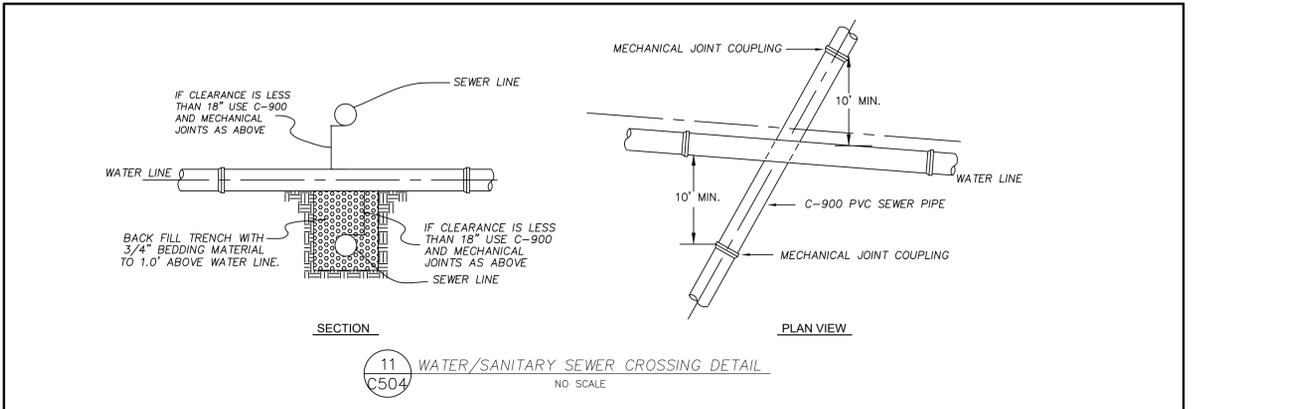
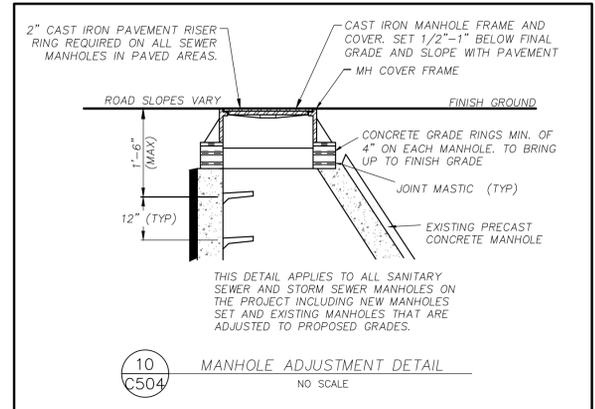
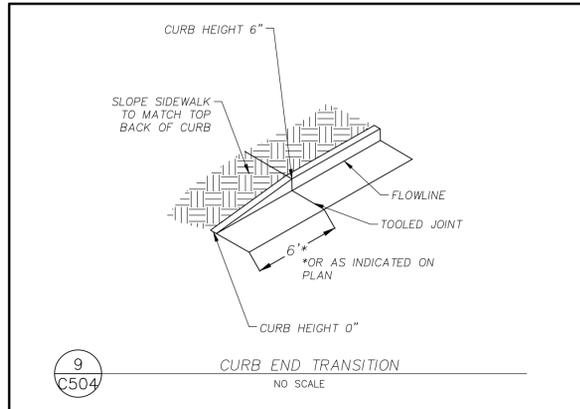
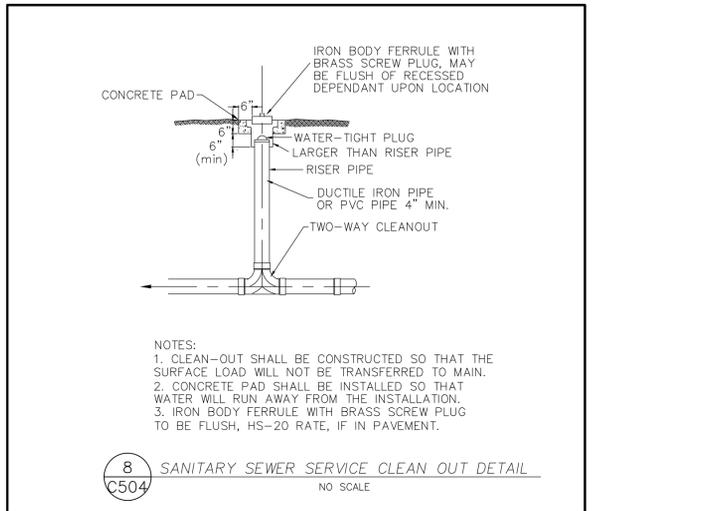
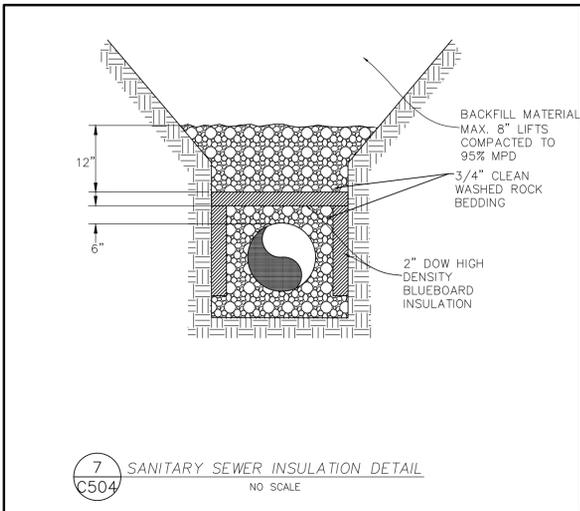
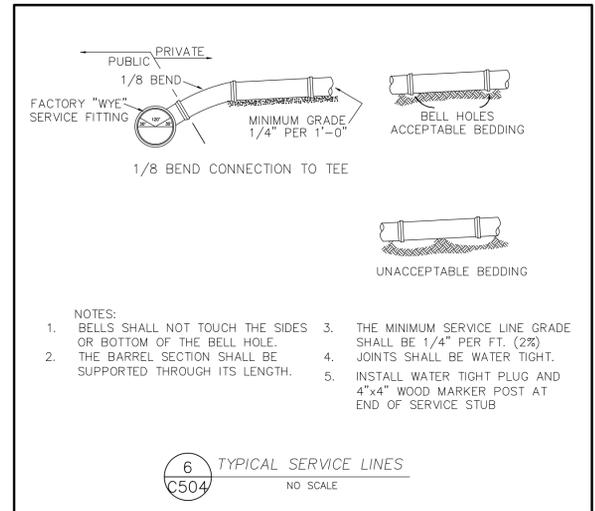
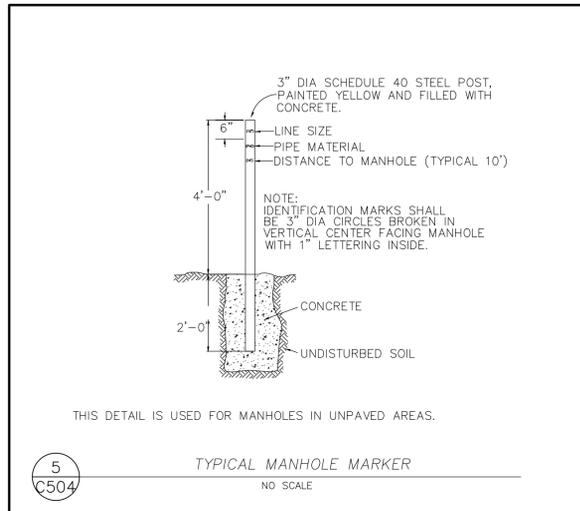
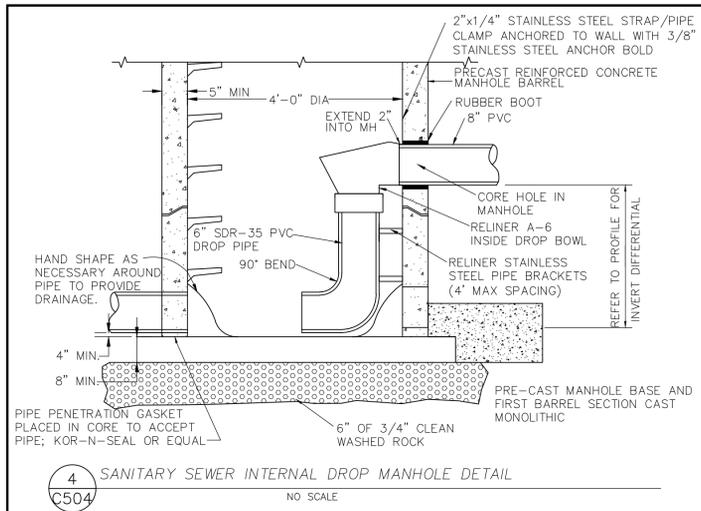
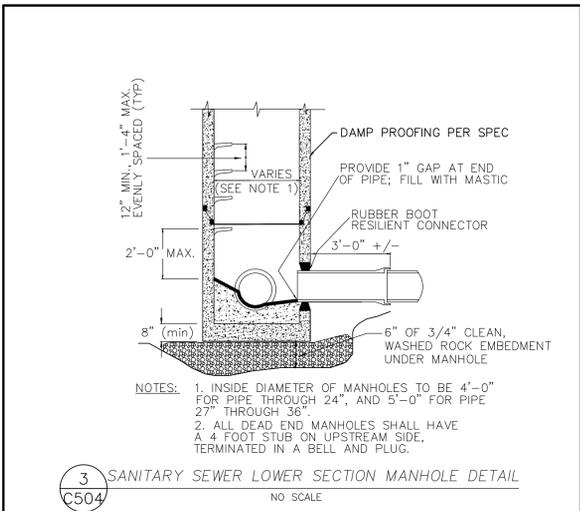
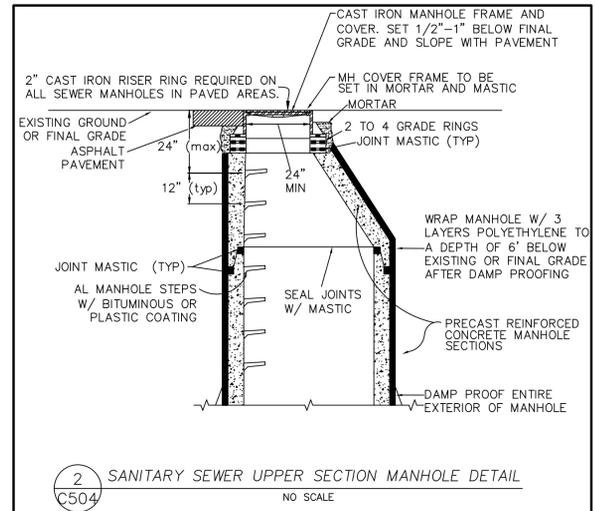
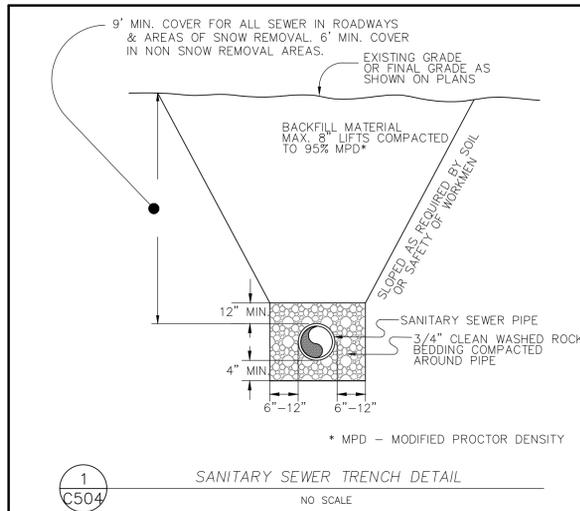


PROFILE STORM SEWER LINE 8  
SCALE: HORIZ: 1" = 20' VERT: 1" = 5'



PROFILE STORM SEWER LINE 7  
SCALE: HORIZ: 1" = 20' VERT: 1" = 5'

5/31/2024 11:43:58 AM - O:\PROJECTS\BRECKENRIDGE\25526\2001\CAD\SHSHEETFILES\C501 DETAILS DWG - KONDO, ETHAN



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ONE RIVER RUN  
75 HUNKI DORI CT.  
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PROJ. NO. 23526-20001  
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DATE: 2021-12-17

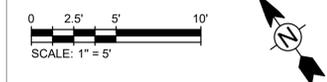
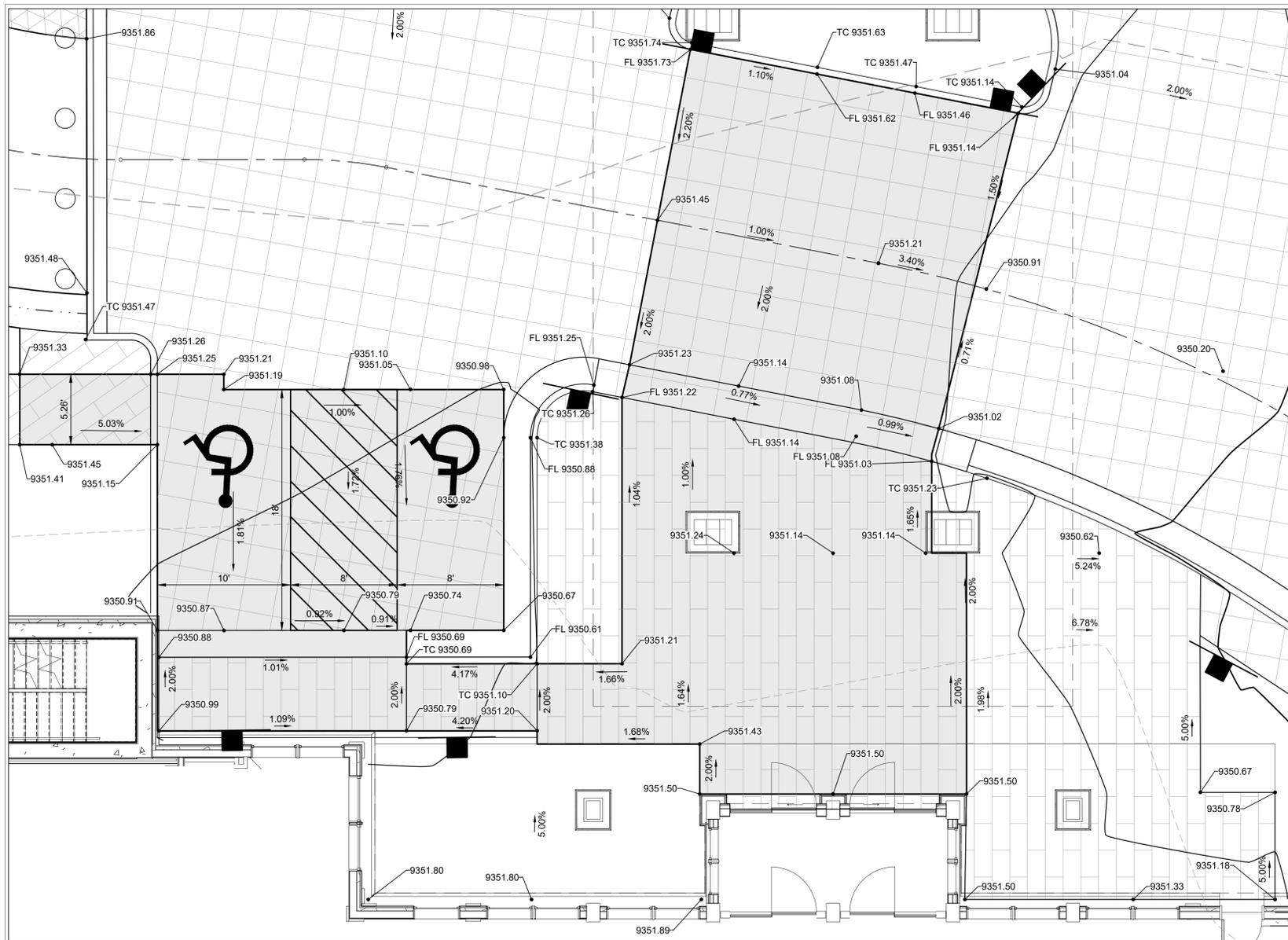
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ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL

SHEET TITLE:  
CIVIL DETAILS

SCALE: NTS  
SHEET NUMBER  
**C-504**

9/31/2024 11:02:54 AM - O:\PROJECTS\BRECKENRIDGE\200-23526-20001\CAD\SHEETFILES\C505 ENLARGED GRADING AND DRAINAGE PLAN.DWG - KONDO, ETHAN



**LEGEND**

ADA ACCESSIBLE AREA

- NOTES:**
1. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO LOBBY LEVEL FFE 9351.50
  2. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
  3. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.

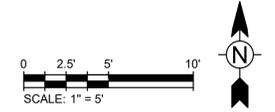
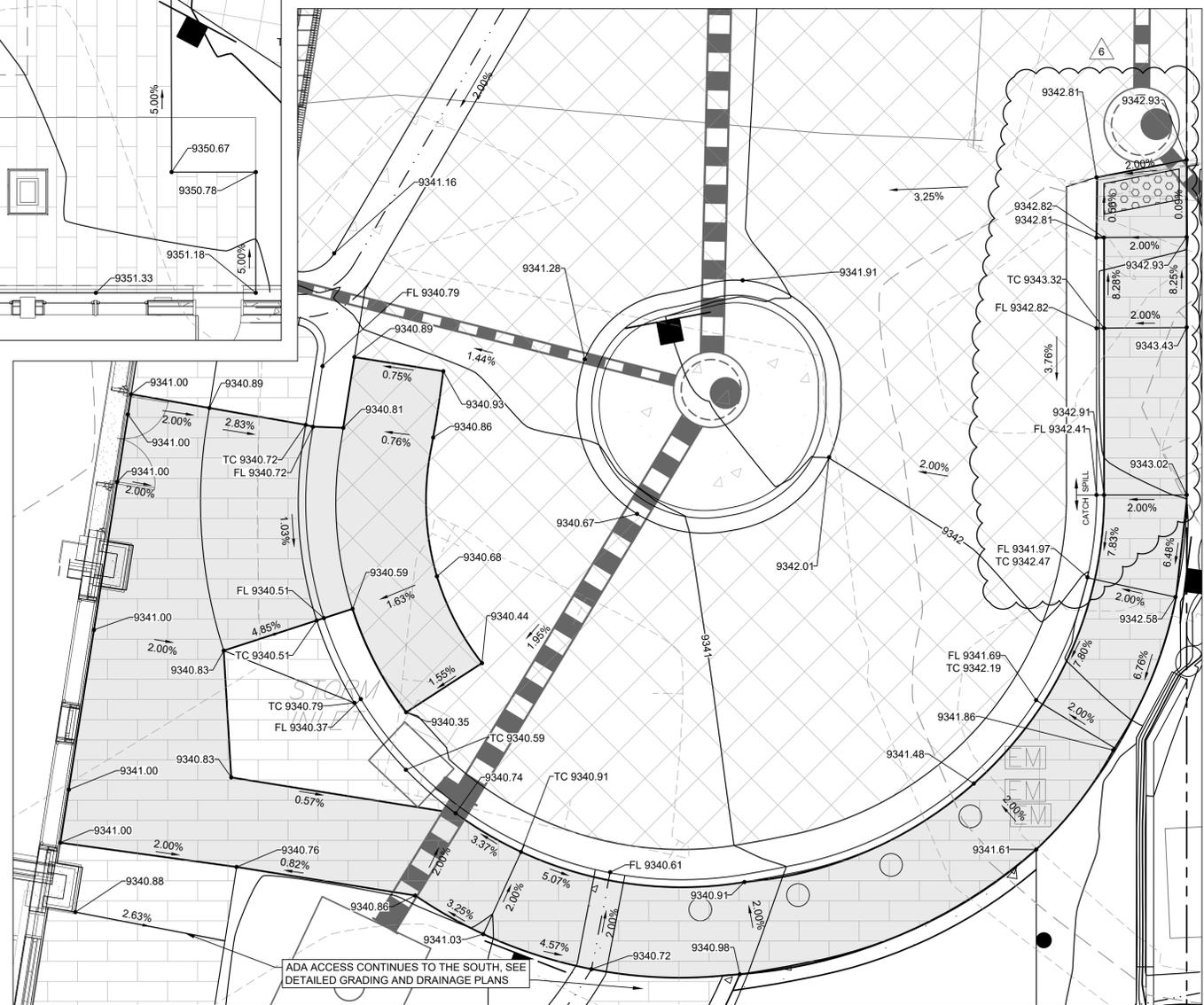


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130 SKI HILL ROAD SUITE 140  
BRECKENRIDGE, COLORADO 80424  
PHONE: (970)453-6394

**ONE RIVER RUN**  
**75 HUNKI DORI CT.**  
**KEYSTONE, CO 80435**



PROJ. NO. 23526-20001  
DRAWN: KGS  
CHECKED: CDD  
APPROVED: CDD  
DATE: 2021-12-17  
6 - 05/28/24 - VERTICAL CURB

© OZ ARCHITECTURE

ONE RIVER RUN  
ISSUED FOR:  
GMP/BUILDING PERMIT  
RESUBMITTAL

SHEET TITLE:  
ADA ACCESSIBLE PLAN

SCALE: 1" = 5'  
SHEET NUMBER  
**C-505**