



3003 Larimer Street
Denver, Colorado 80205
phone 303.861.5704
www.ozarch.com



130 SKI HILL ROAD SUITE 140
BRECKENRIDGE, COLORADO 80424
PHONE: (970)453-6394

ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2022/02/25
SITE PLAN AMENDMENT

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ONE RIVER RUN
ISSUED FOR:
SITE PLAN AMENDMENT

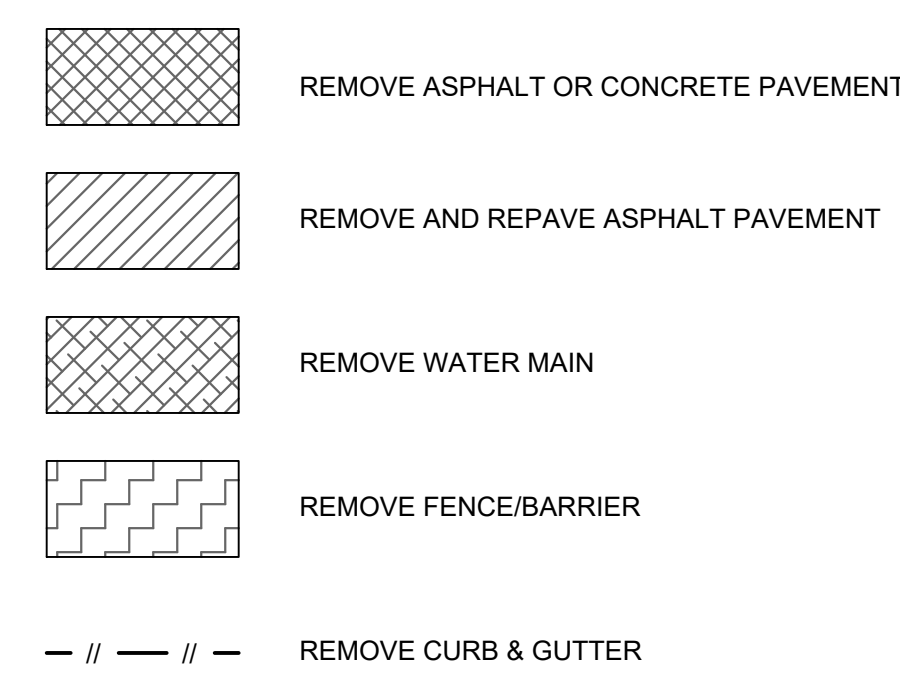
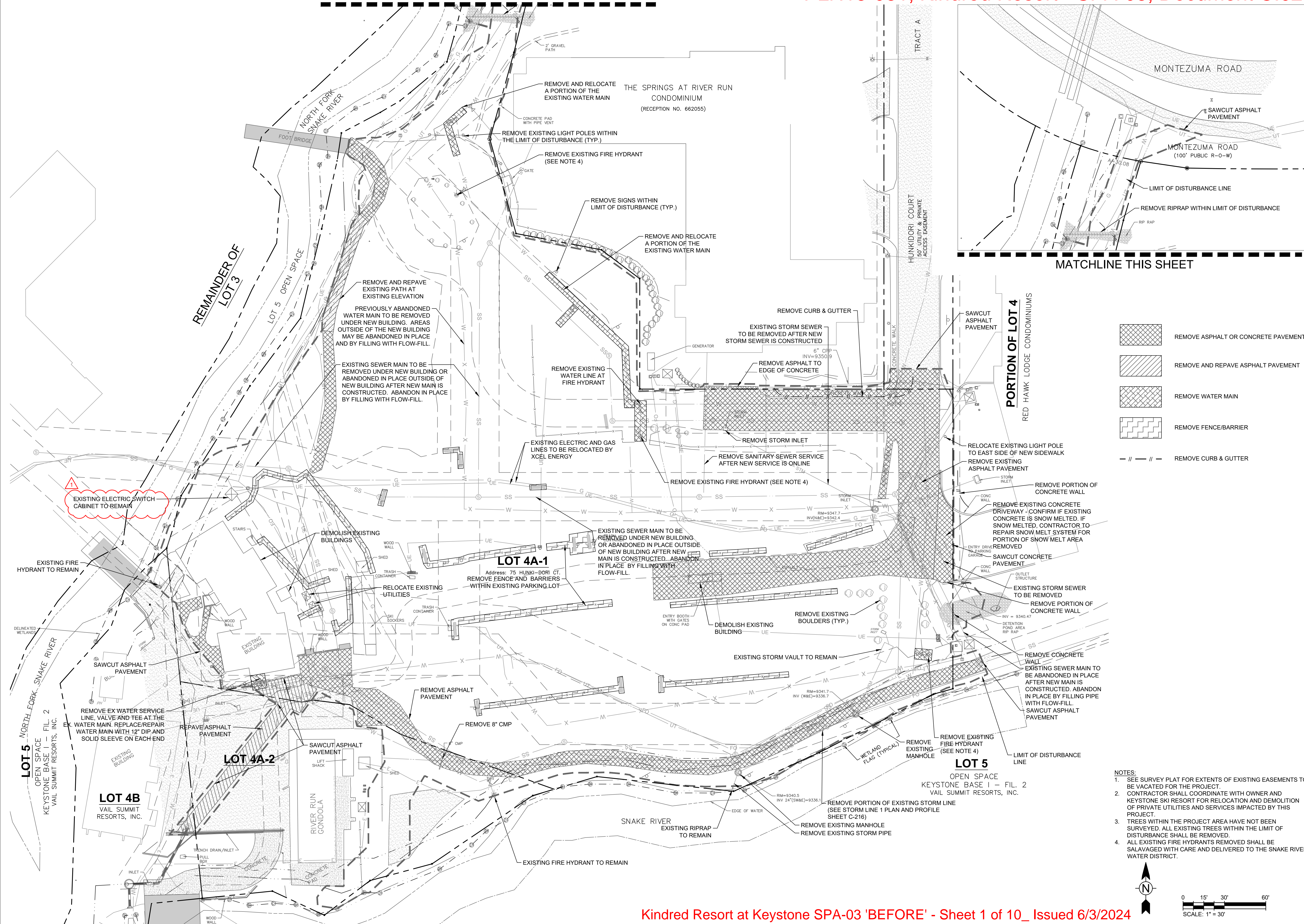
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SHEET NUMBER

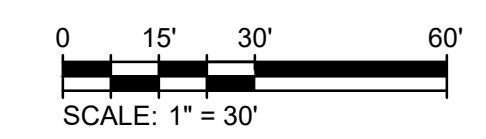
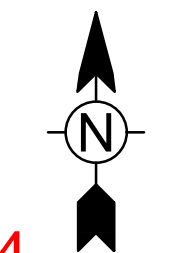
C-102

MATCHLINE THIS SHEET

MATCHLINE THIS SHEET



- NOTES:
- SEE SURVEY PLAT FOR EXTENTS OF EXISTING EASEMENTS TO BE VACATED FOR THE PROJECT.
 - CONTRACTOR SHALL COORDINATE WITH OWNER AND KEYSTONE SKI RESORT FOR RELOCATION AND DEMOLITION OF PRIVATE UTILITIES AND SERVICES IMPACTED BY THIS PROJECT.
 - TREES WITHIN THE PROJECT AREA HAVE NOT BEEN SURVEYED. ALL EXISTING TREES WITHIN THE LIMIT OF DISTURBANCE SHALL BE REMOVED.
 - ALL EXISTING FIRE HYDRANTS REMOVED SHALL BE SALVAGED WITH CARE AND DELIVERED TO THE SNAKE RIVER WATER DISTRICT.



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PROJ. NO. 23526-20001
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 SITE PLAN AMENDMENT

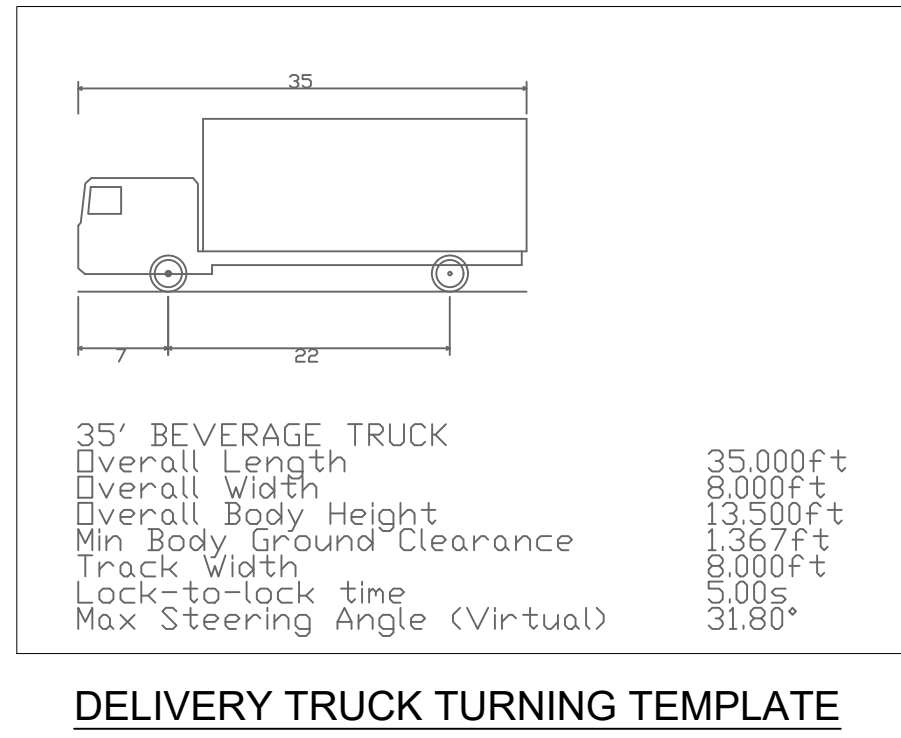
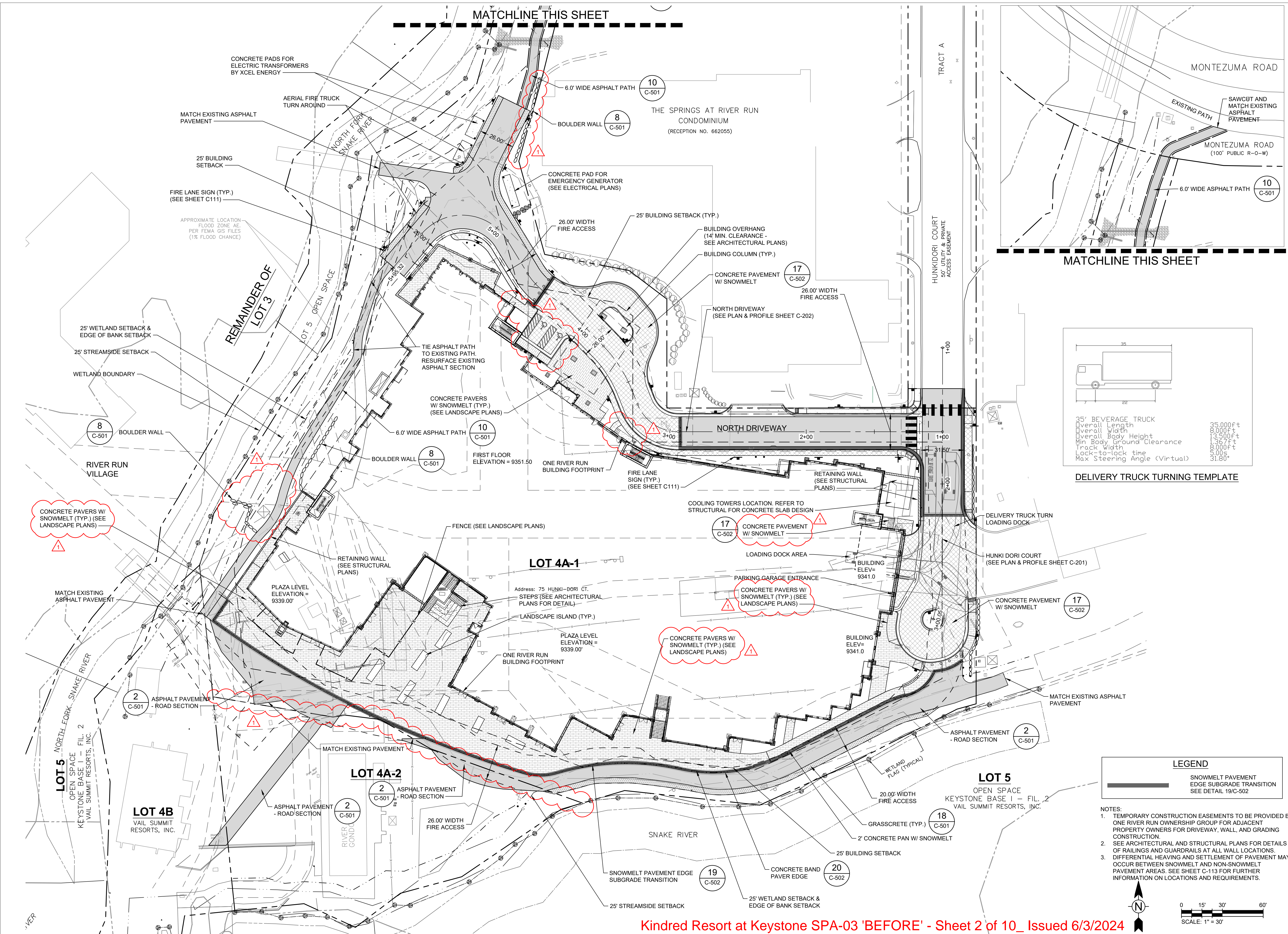
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ONE RIVER RUN
ISSUED FOR:
SITE PLAN AMENDMENT

SHEET TITLE:
CIVIL SITE PLAN

SCALE: 1" = 30'
SHEET NUMBER

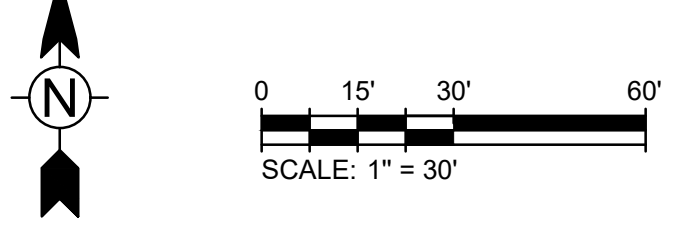
C-104



LEGEND

| | |
|--|--------------------------|
| | SNOWMELT PAVEMENT |
| | EDGE SUBGRADE TRANSITION |
| | SEE DETAIL 19/C-502 |

- NOTES:**
- TEMPORARY CONSTRUCTION EASEMENTS TO BE PROVIDED BY ONE RIVER RUN OWNERSHIP GROUP FOR ADJACENT PROPERTY OWNERS FOR DRIVEWAY, WALL, AND GRADING CONSTRUCTION.
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS OF RAILINGS AND GUARDRAILS AT ALL WALL LOCATIONS.
 - DIFFERENTIAL HEAVING AND SETTLEMENT OF PAVEMENT MAY OCCUR BETWEEN SNOWMELT AND NON-SNOWMELT PAVEMENT AREAS. SEE SHEET C-113 FOR FURTHER INFORMATION ON LOCATIONS AND REQUIREMENTS.



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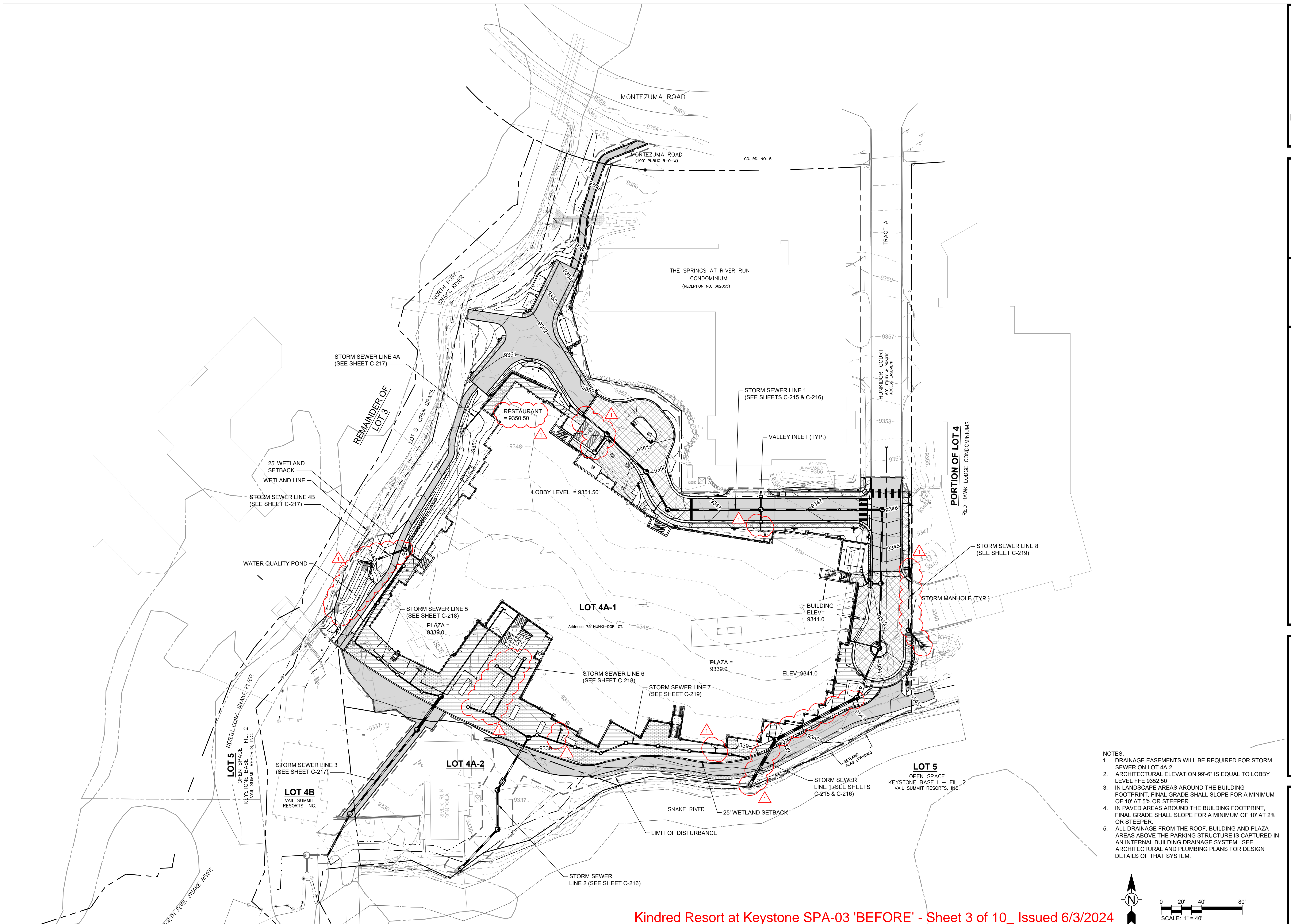
ONE RIVER RUN
 ISSUED FOR:
 SITE PLAN AMENDMENT

SHEET TITLE:
 OVERALL GRADING &
 DRAINAGE PLAN

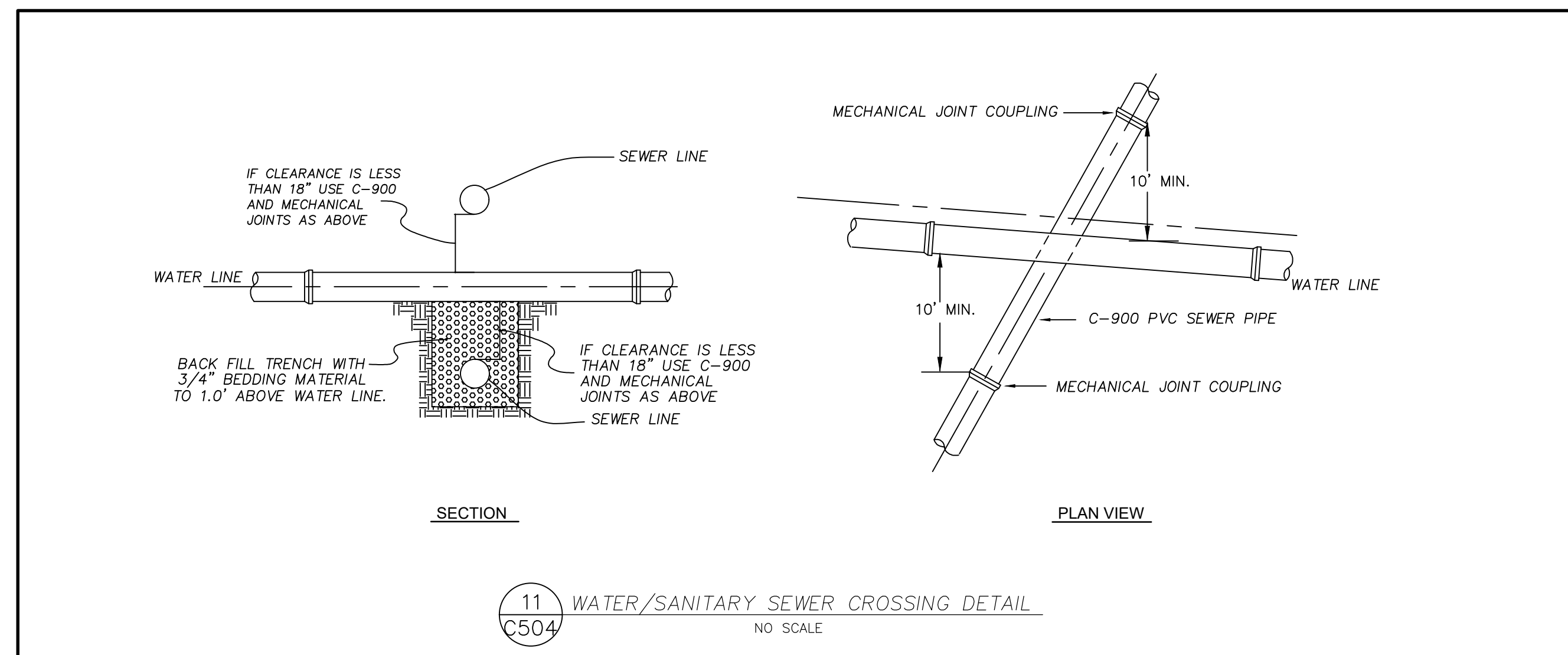
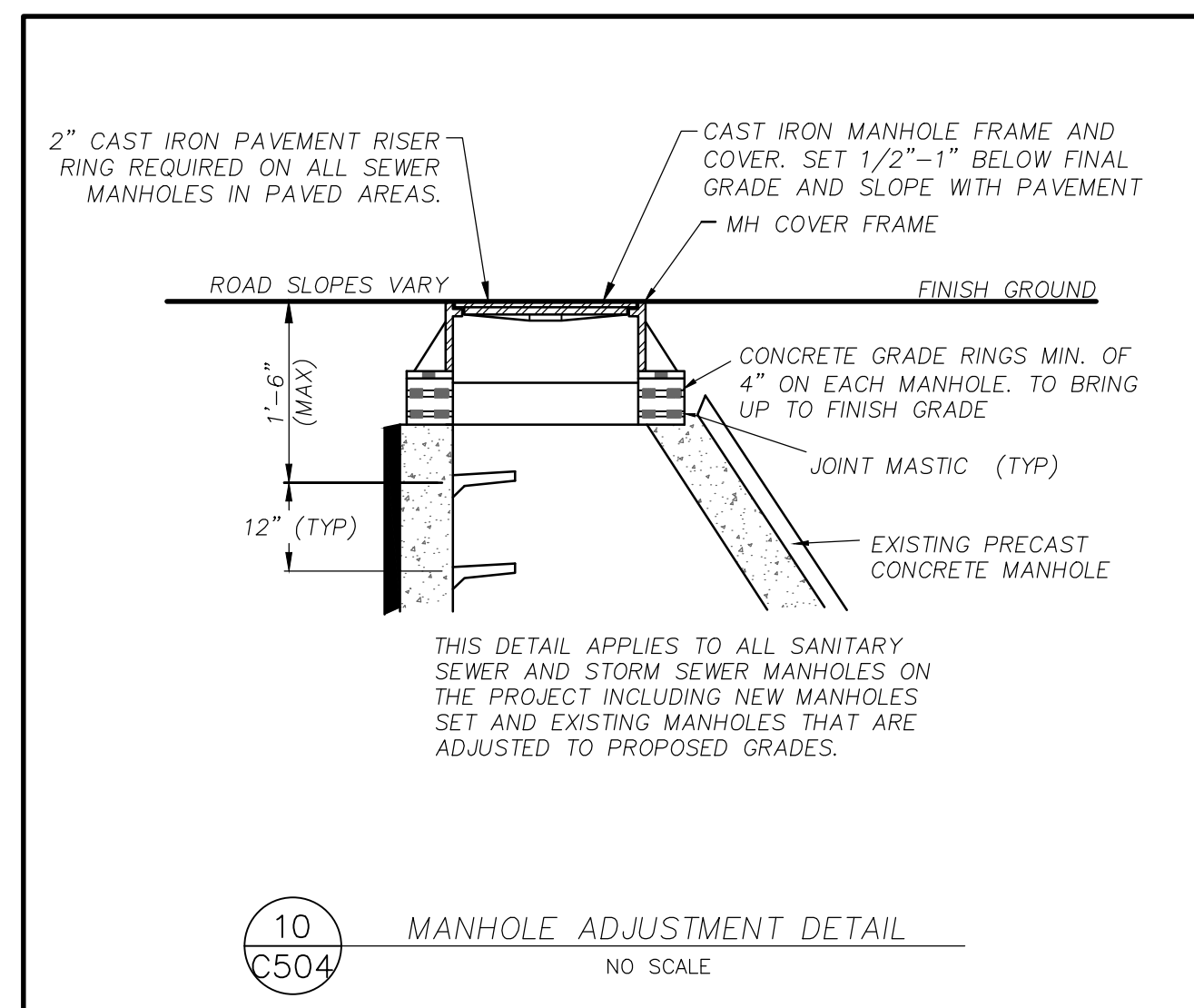
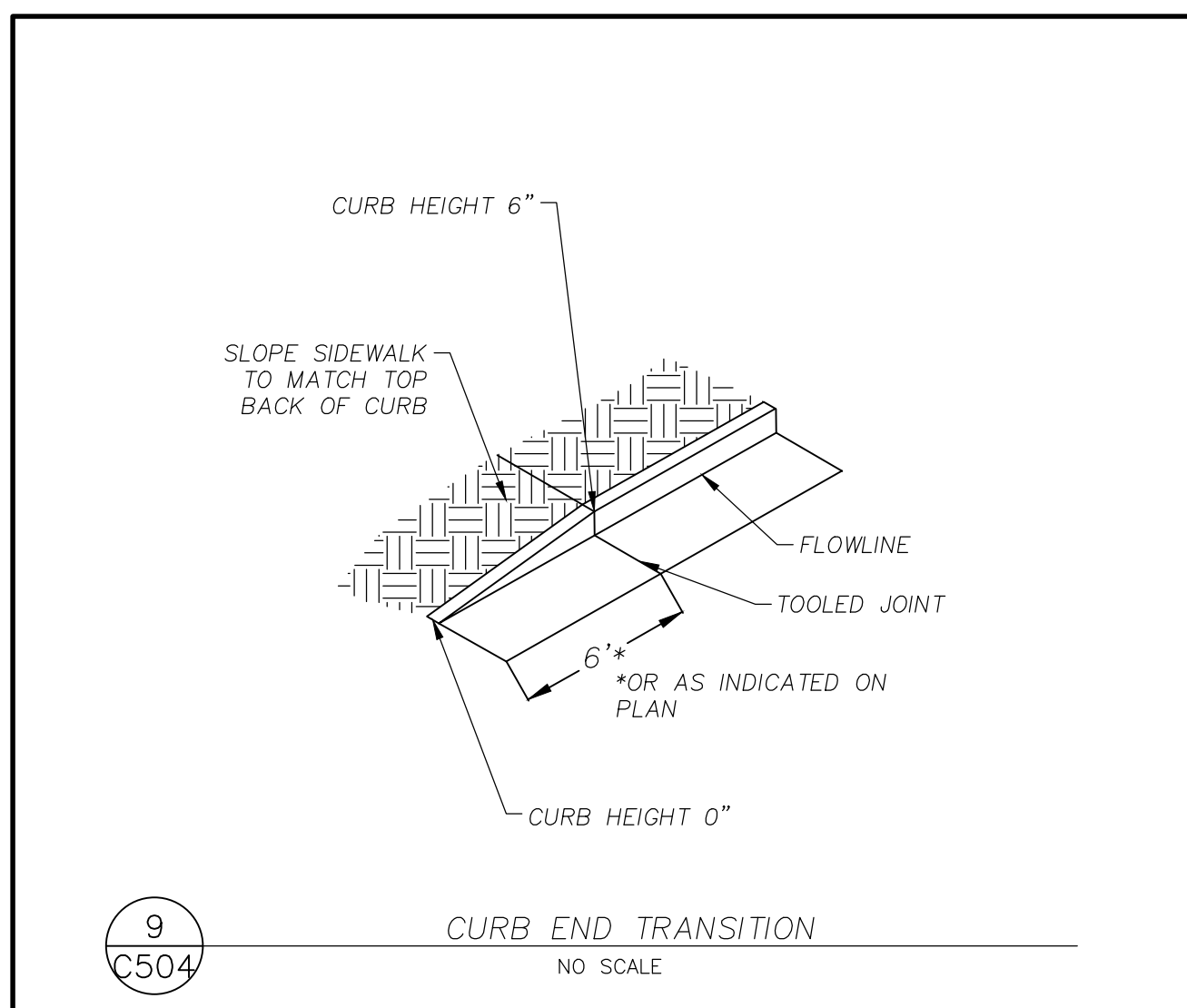
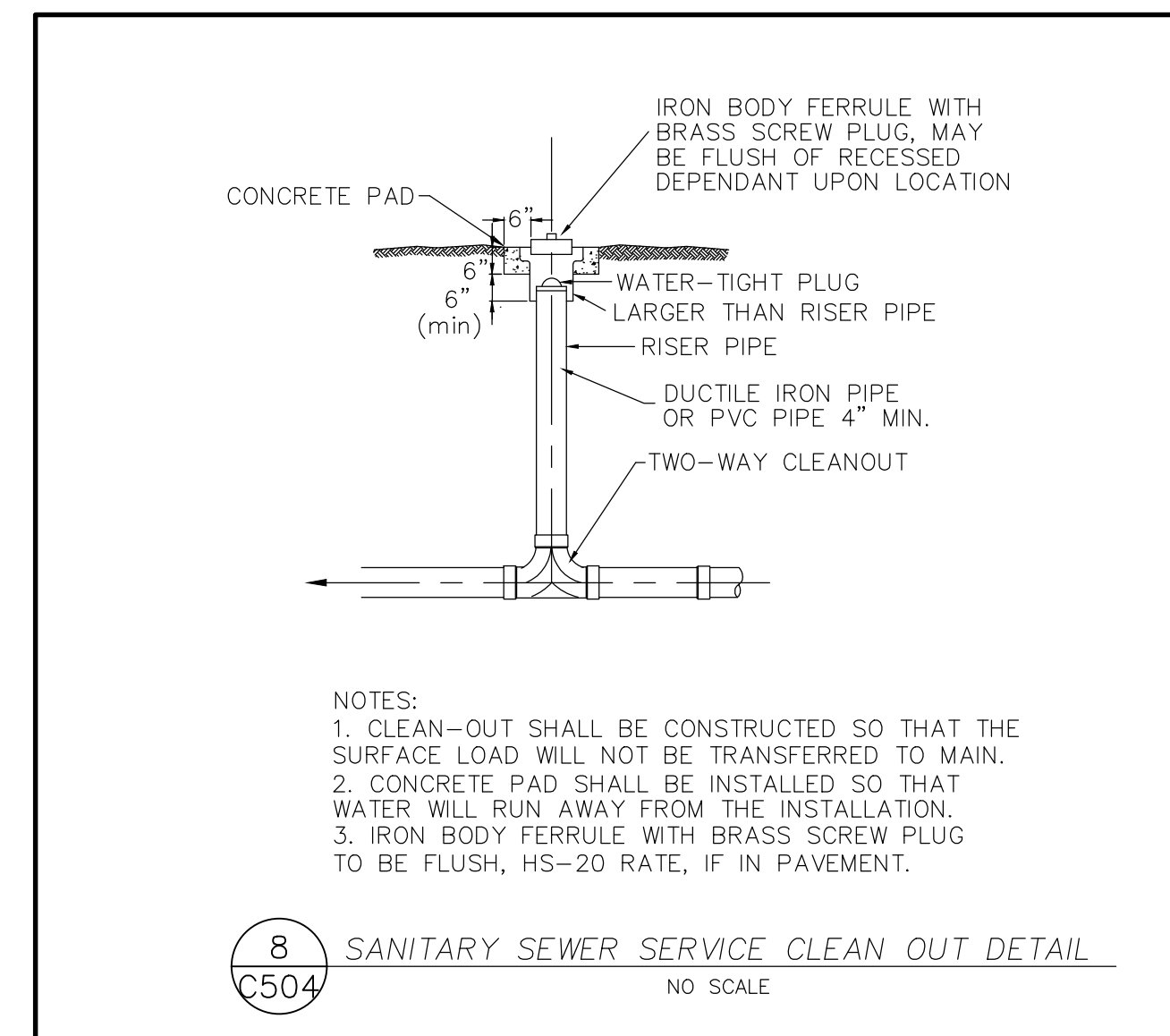
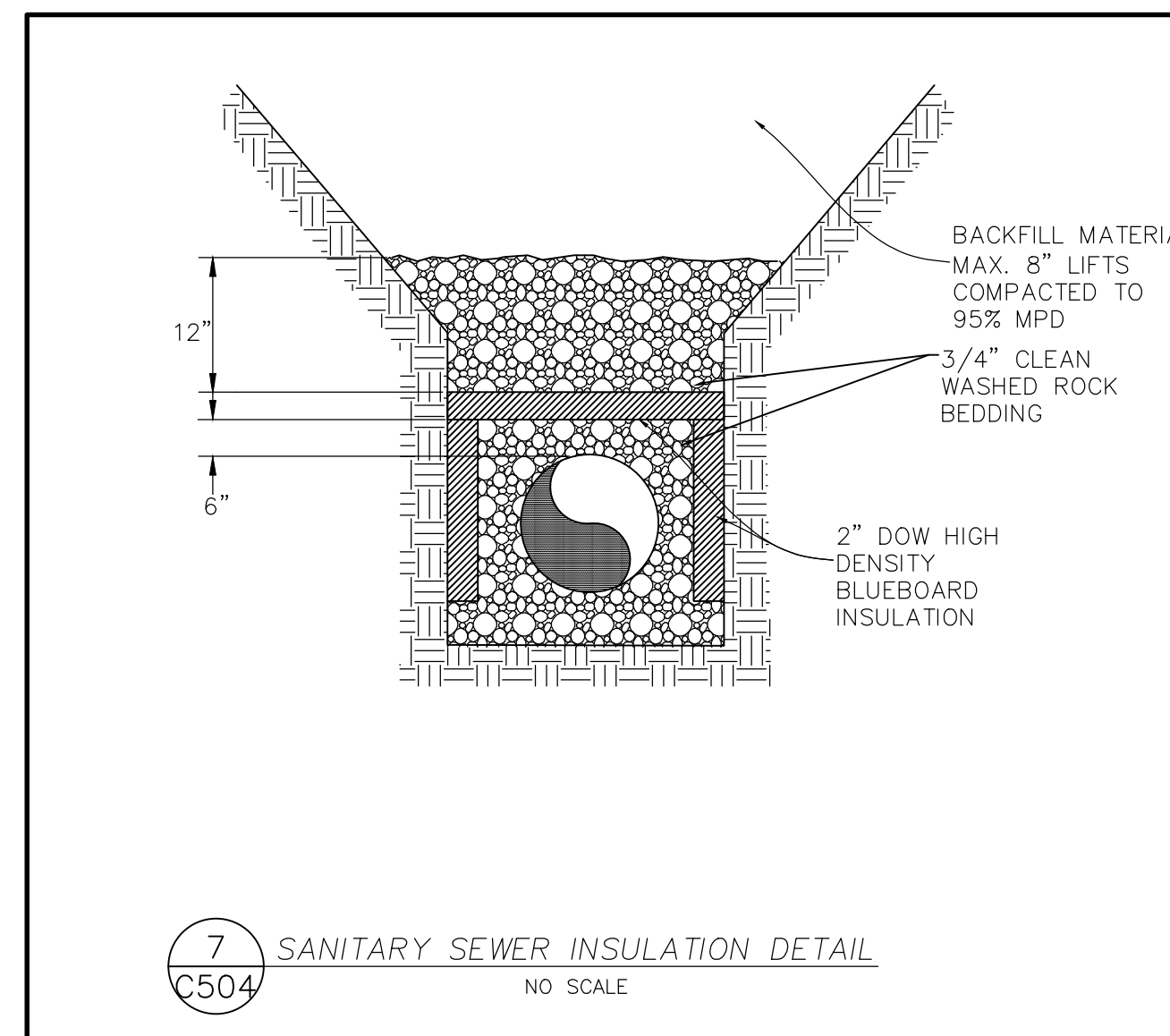
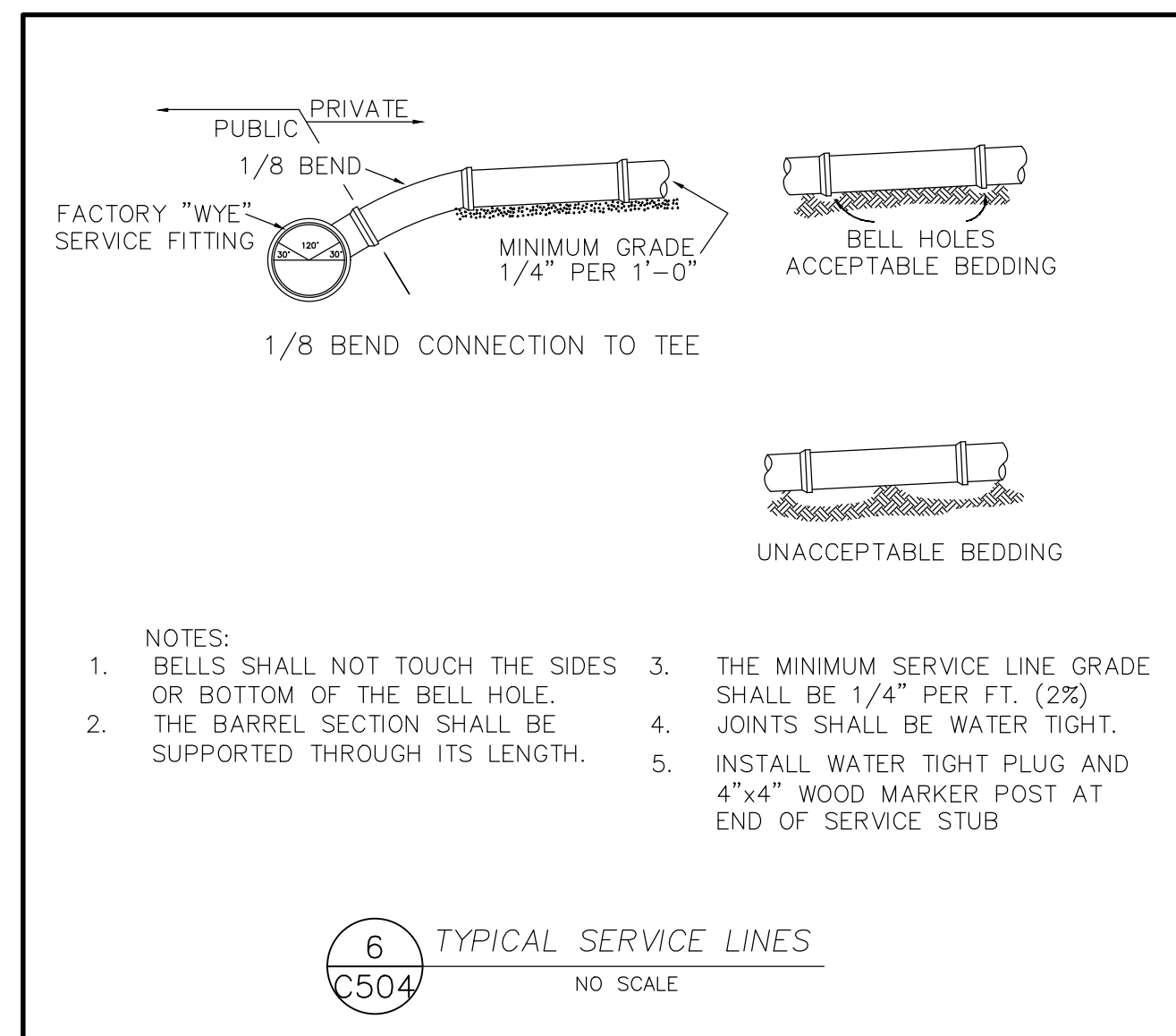
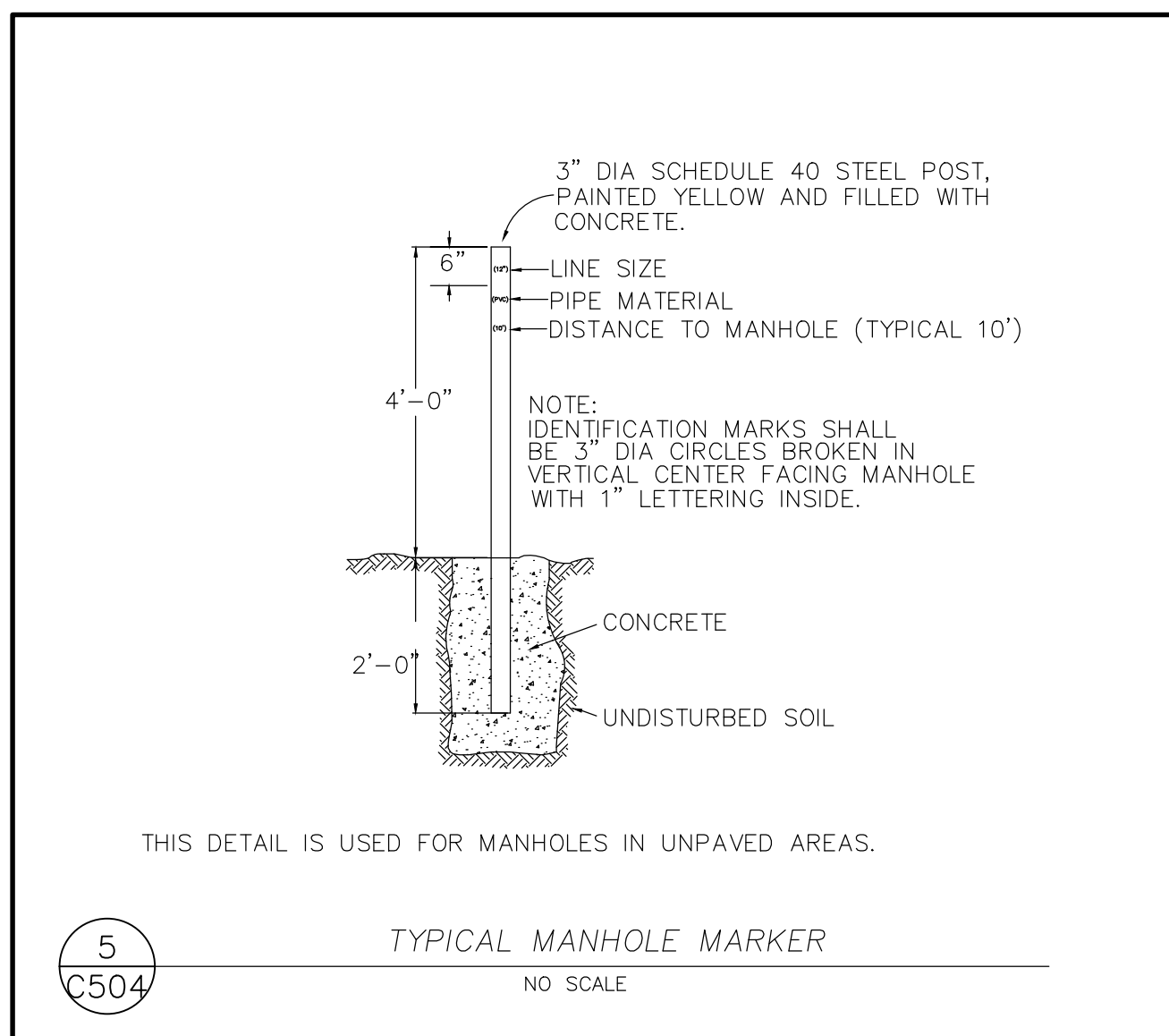
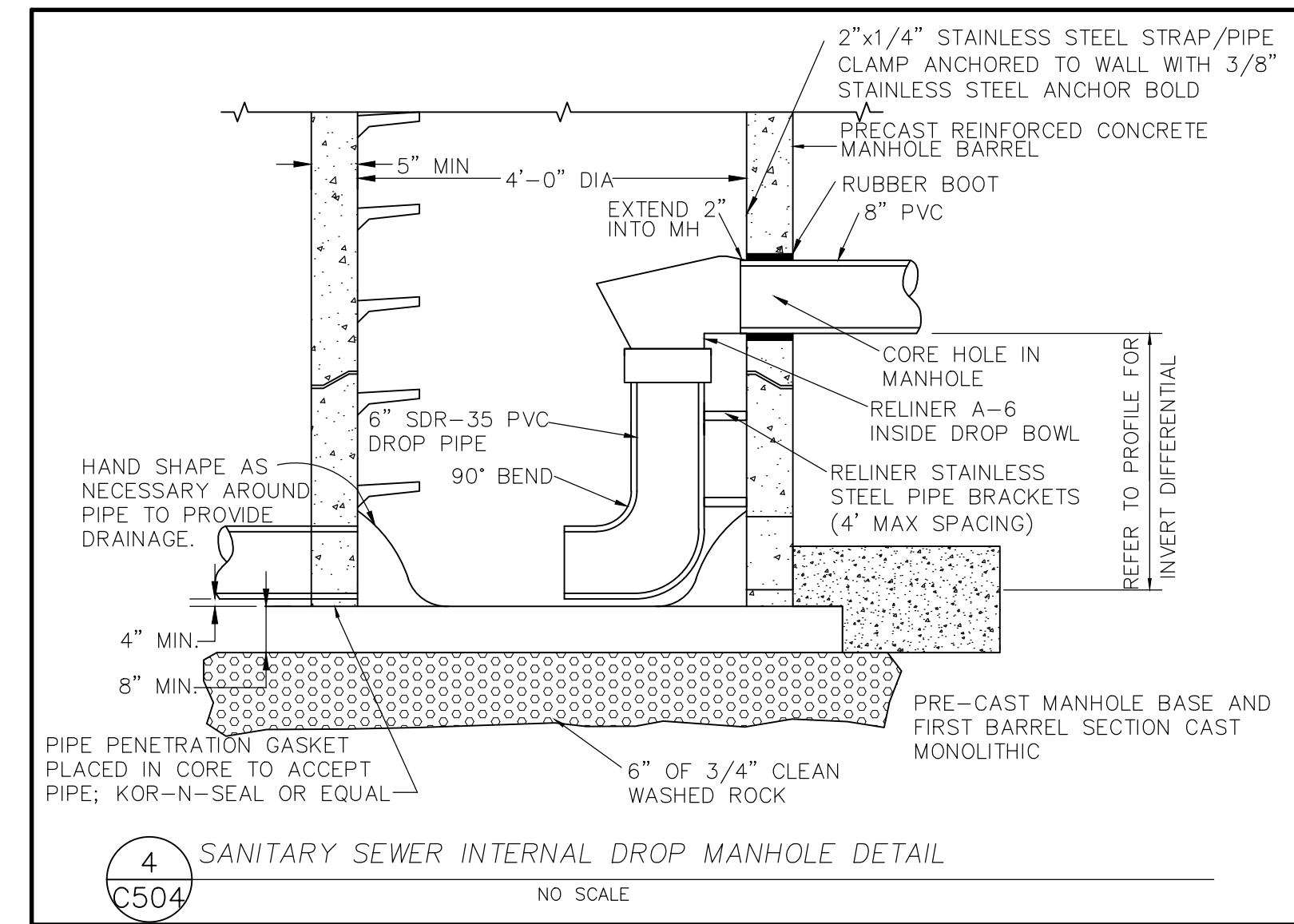
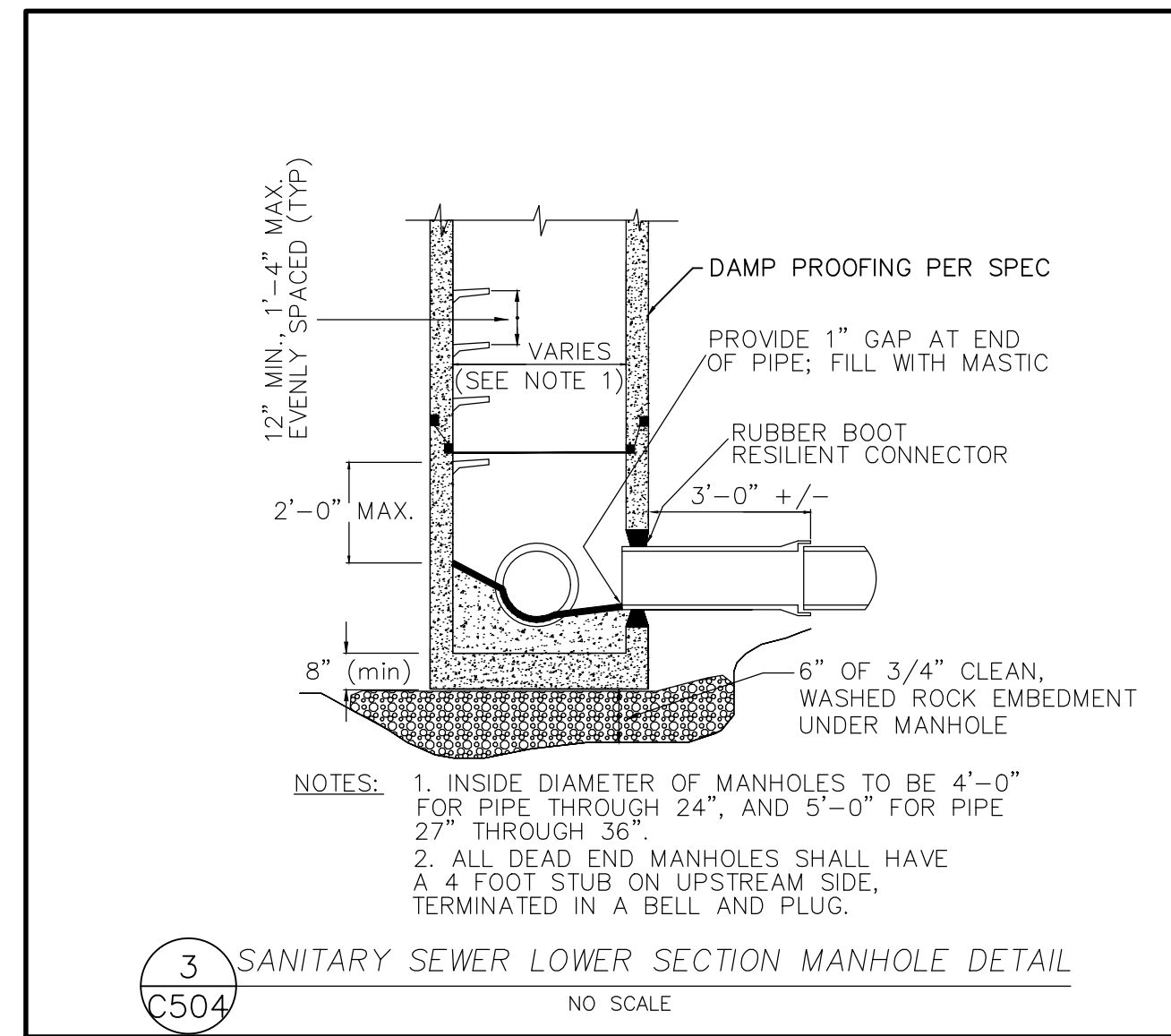
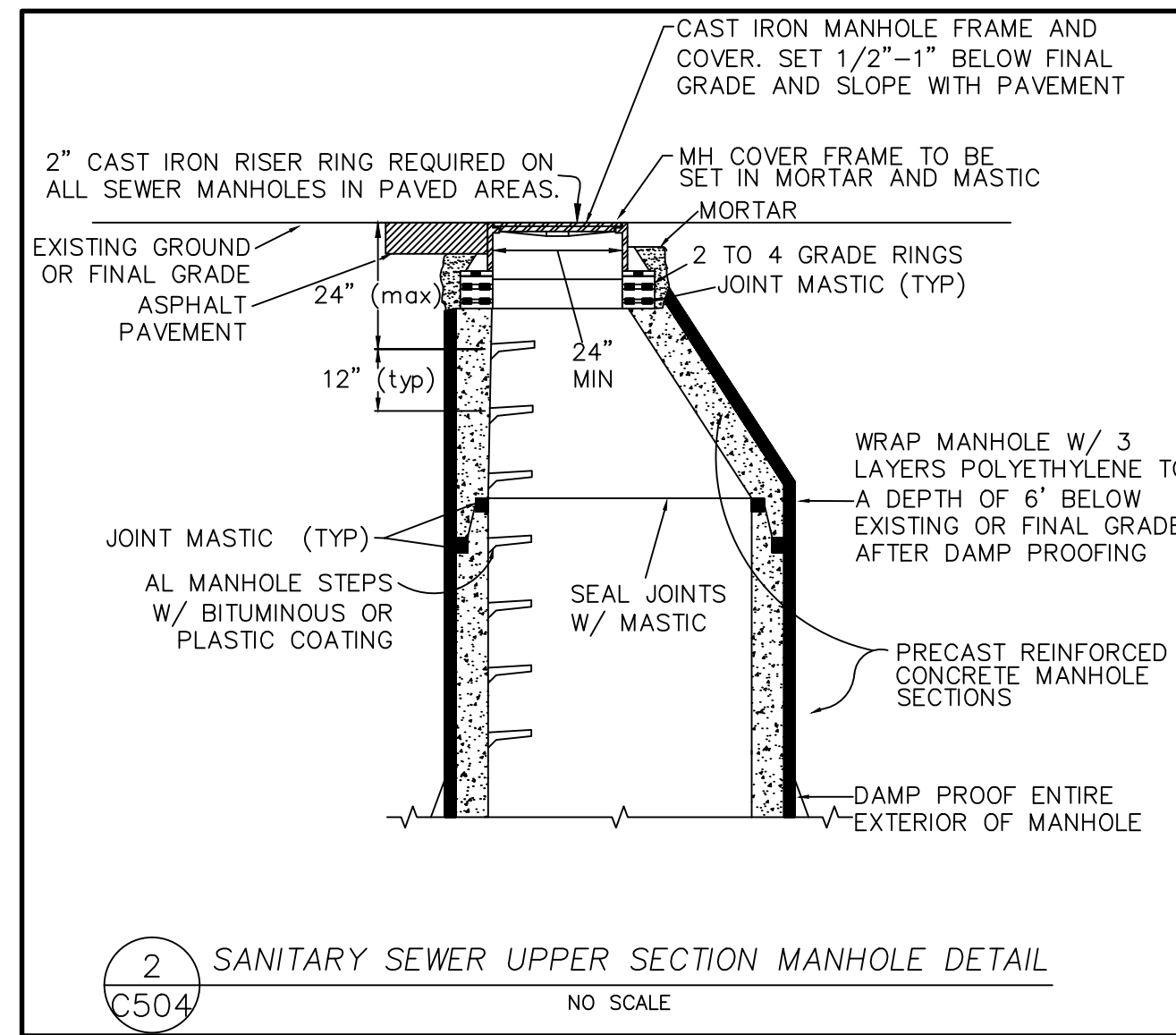
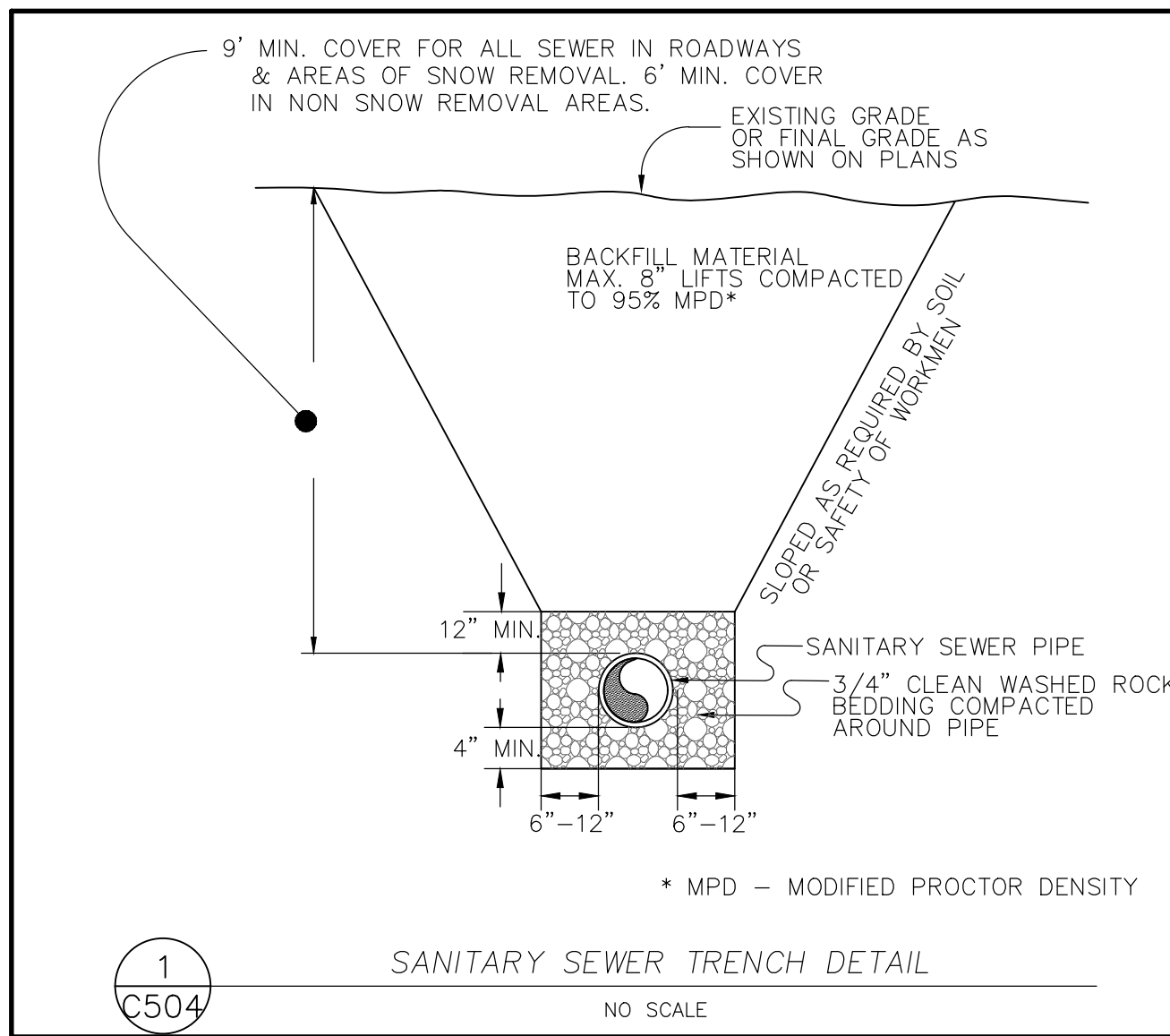
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C-105

2/24/2022 4:57:10 PM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHEETFILES\C105 GRADING AND DRAINAGE PLAN DWG - SCANLAN, KEATON



- NOTES:
1. DRAINAGE EASEMENTS WILL BE REQUIRED FOR STORM SEWER ON LOT 4A-2.
 2. ARCHITECTURAL ELEVATION 99'-6" IS EQUAL TO LOBBY LEVEL FFE 9352.50
 3. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 4. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.
 5. ALL DRAINAGE FROM THE ROOF, BUILDING AND PLAZA AREAS ABOVE THE PARKING STRUCTURE IS CAPTURED IN AN INTERNAL BUILDING DRAINAGE SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DESIGN DETAILS OF THAT SYSTEM.

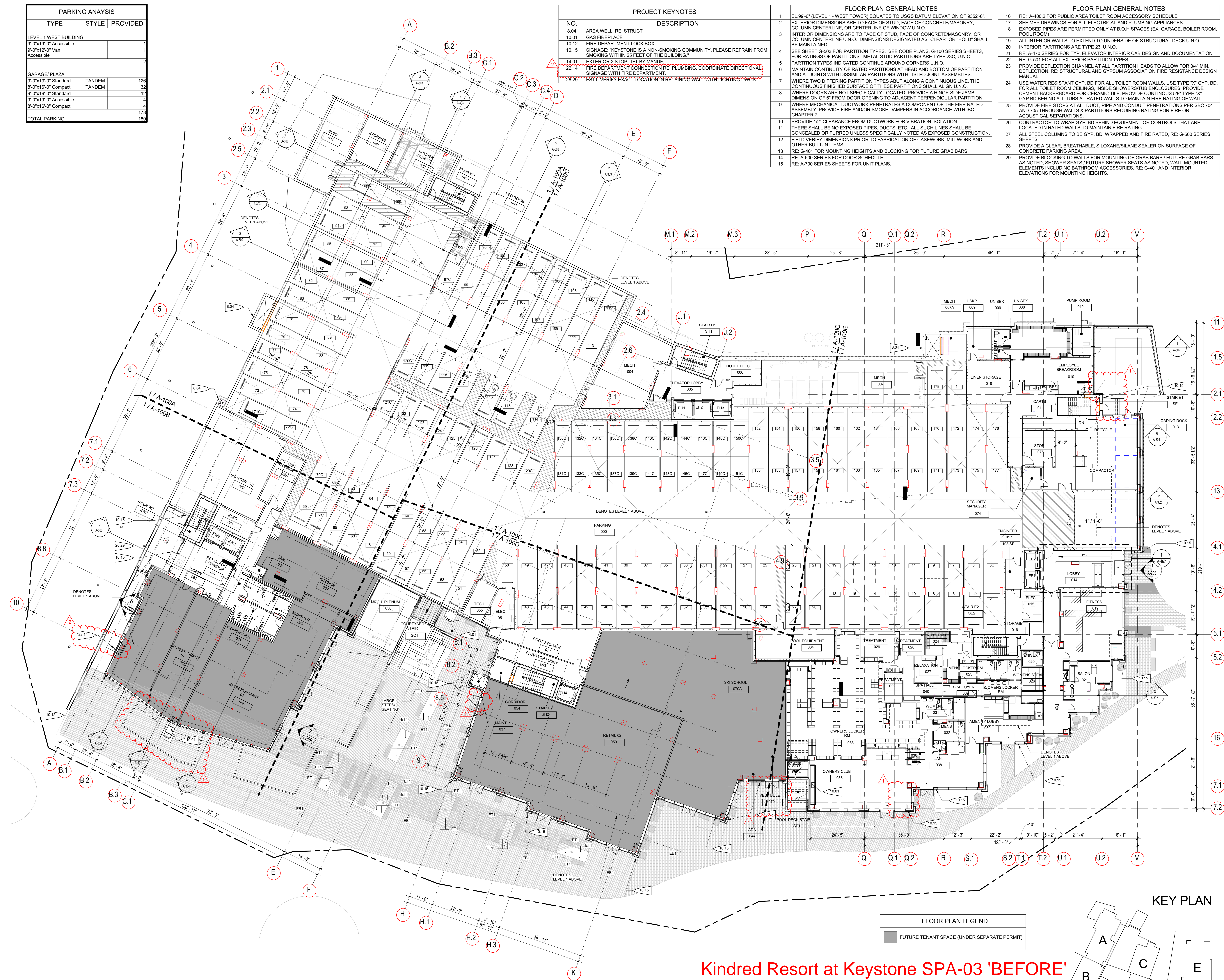


| PARKING ANALYSIS | | |
|-----------------------------|--------|----------|
| TYPE | STYLE | PROVIDED |
| LEVEL 1 WEST BUILDING | | |
| 9'-0"x19'-0" Accessible | | 1 |
| 9'-0"x12'-0" Van Accessible | | 2 |
| GARAGE/ PLAZA | | |
| 9'-0"x19'-0" Standard | TANDEM | 126 |
| 8'-0"x16'-0" Compact | TANDEM | 32 |
| 9'-0"x19'-0" Standard | | 12 |
| 9'-0"x19'-0" Accessible | | 4 |
| 8'-0"x16'-0" Compact | | 7 |
| TOTAL PARKING | | 180 |

| PROJECT KEYNOTES | |
|------------------|--|
| NO. | DESCRIPTION |
| 8.04 | AREA WELL, RE. STRUCT |
| 10.01 | GAS FIREPLACE |
| 10.12 | FIRE DEPARTMENT LOCK BOX |
| 10.15 | SIGNAGE "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING." |
| 14.01 | EXTERIOR 2 STOP LIFT BY MANUF. |
| 22.14 | FIRE DEPARTMENT CONNECTION RE: PLUMBING. COORDINATE DIRECTIONAL SIGNAGE WITH FIRE DEPARTMENT |
| 26.29 | TEST, VERIFY EXACT LOCATION IN RETAINING WALL WITH LIGHTING DIMGS. |

| FLOOR PLAN GENERAL NOTES | |
|--------------------------|--|
| 1 | EL 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO USGS DATUM ELEVATION OF 9352'-6" |
| 2 | EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O. |
| 3 | INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED. |
| 4 | SEE SHEET G-503 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS, FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 23C, U.N.O. |
| 5 | PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O. |
| 6 | MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES. |
| 7 | WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O. |
| 8 | WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION. |
| 9 | WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7. |
| 10 | PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION. |
| 11 | THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION. |
| 12 | FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS. |
| 13 | RE: G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS. |
| 14 | RE: A-600 SERIES FOR DOOR SCHEDULE. |
| 15 | RE: A-700 SERIES SHEETS FOR UNIT PLANS. |

| FLOOR PLAN GENERAL NOTES | |
|--------------------------|---|
| 16 | RE: A-400.2 FOR PUBLIC AREA TOILET ROOM ACCESSORY SCHEDULE |
| 17 | SEE MEP DRAWINGS FOR ALL ELECTRICAL AND PLUMBING APPLIANCES. |
| 18 | EXPOSED PIPES ARE PERMITTED ONLY AT B.O.H SPACES (EX: GARAGE, BOILER ROOM, POOL ROOM) |
| 19 | ALL INTERIOR WALLS TO EXTEND TO UNDERSIDE OF STRUCTURAL DECK U.N.O. |
| 20 | INTERIOR PARTITIONS ARE TYPE 23, U.N.O. |
| 21 | RE: A-470 SERIES FOR TYP. ELEVATOR INTERIOR CAB DESIGN AND DOCUMENTATION |
| 22 | RE: G-501 FOR ALL EXTERIOR PARTITION TYPES |
| 23 | PROVIDE DEFLECTION CHANNEL AT ALL PARTITION HEADS TO ALLOW FOR 3/4" MIN. DEFLECTION, RE: STRUCTURAL AND GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL |
| 24 | USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILING. INSIDE SHOWER/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS "B" TYPE "X" GYP. BD BEHIND ALL TUBS AT RATED WALLS TO MAINTAIN FIRE RATING OF WALL. |
| 25 | PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SBC 704 AND 705 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACOUSTICAL SEPARATIONS. |
| 26 | CONTRACTOR TO WRAP GYP. BD BEHIND EQUIPMENT OR CONTROLS THAT ARE LOCATED IN RATED WALLS TO MAINTAIN FIRE RATING |
| 27 | ALL STEEL COLUMNS TO BE GYP. BD, WRAPPED AND FIRE RATED, RE: G-500 SERIES SHEETS |
| 28 | PROVIDE A CLEAR, BREATHABLE, SILOXANE/SILANE SEALER ON SURFACE OF CONCRETE PARKING AREA |
| 29 | PROVIDE BLOCKING TO WALLS FOR MOUNTING OF GRAB BARS / FUTURE GRAB BARS AS NOTED, SHOWER SEATS / FUTURE SHOWER SEATS AS NOTED, WALL MOUNTED ELEMENTS INCLUDING BATHROOM ACCESSORIES, RE: G-01 AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS. |



OZ ARCHITECTURE
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 phone 303.861.5704
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ONE RIVER RUN
 75 HUNKI DORI CT.
 KEystone, CO 80435

| | |
|------------|-------------------------------|
| PROJ. NO. | 117033.00 |
| DRAWN: | OZ |
| CHECKED: | |
| APPROVED: | |
| DATE: | 2022-02-25 |
| REVISIONS: | |
| | △ SITE PLAN AMENDMENT |
| | △ SITE PLAN AMENDMENT - REV 2 |
| | 07/07/2022 |

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ONE RIVER RUN
 ISSUED FOR:
 SITE PLAN AMENDMENT

SHEET TITLE:
 GARAGE FLOOR PLAN - OVERALL

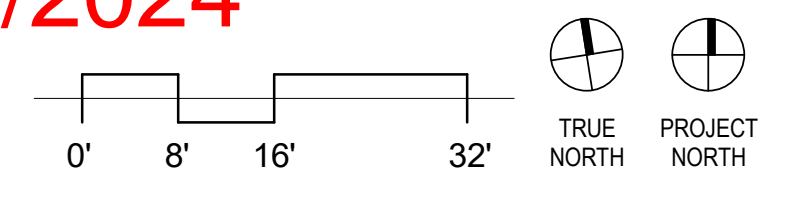
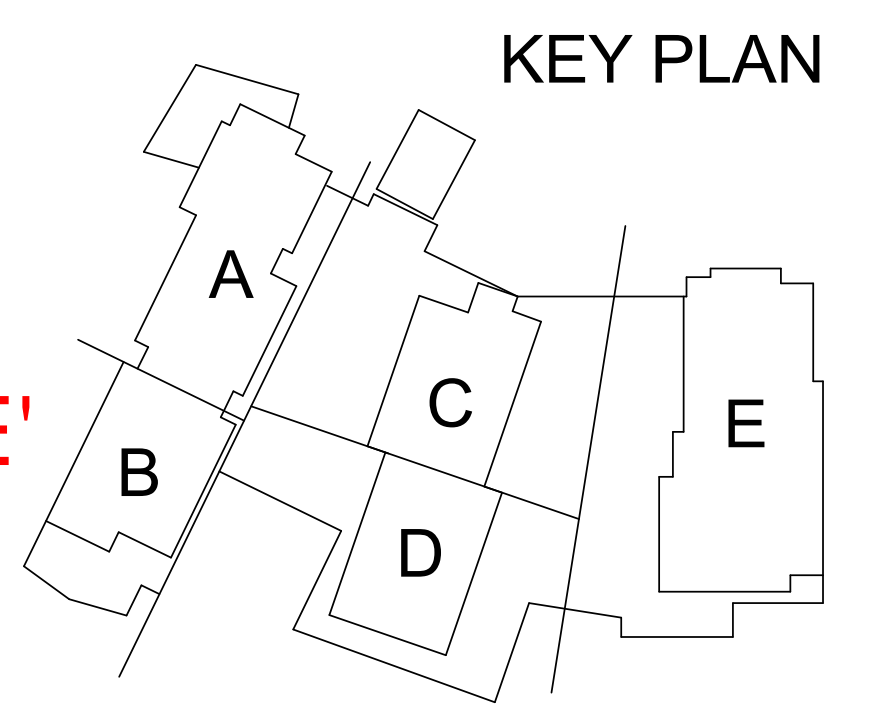
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A-100

1 GARAGE FLOOR PLAN - OVERALL
 1/16" = 1'-0"

Kindred Resort at Keystone SPA-03 'BEFORE'
- Sheet 7 of 10_ Issued 6/3/2024

| FLOOR PLAN LEGEND | |
|-------------------|---|
| [Symbol] | FUTURE TENANT SPACE (UNDER SEPARATE PERMIT) |



BM 3630/117033.00 One River Run/117033_Kindred_A21_Central.mxd 7/5/2022 9:09:00 PM



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DRAWN: OZ
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APPROVED:
DATE: 2022-02-25
SITE PLAN AMENDMENT

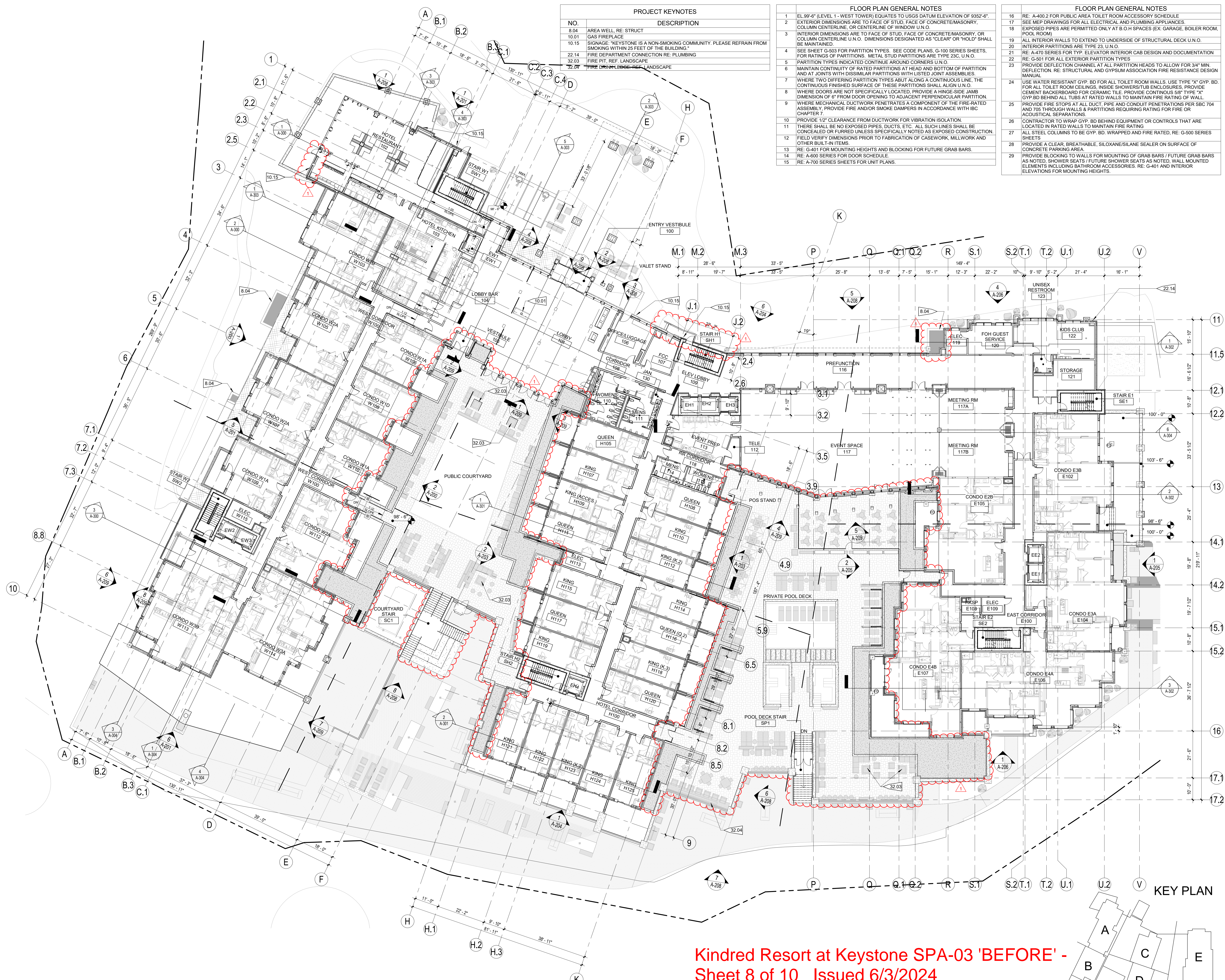
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ONE RIVER RUN
ISSUED FOR:
SITE PLAN AMENDMENT
SHEET TITLE:
LEVEL 1 FLOOR PLAN -
OVERALL
SCALE: 1/16" = 1'-0"
SHEET NUMBER
A-101

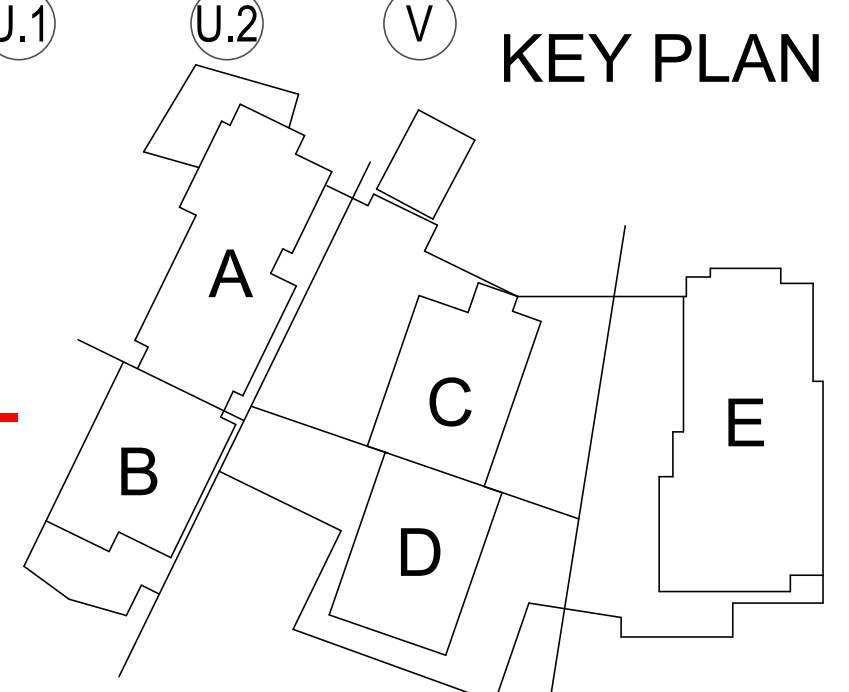
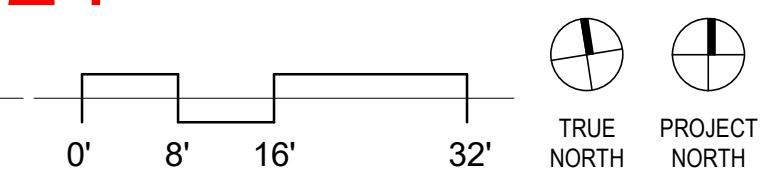
| PROJECT KEYNOTES | |
|------------------|---|
| NO. | DESCRIPTION |
| 8.04 | AREA WELL, RE: STRUCT |
| 10.01 | GAS FIREPLACE |
| 10.15 | SIGNAGE: "KEYSTONE IS A NON-SMOKING COMMUNITY. PLEASE REFRAIN FROM SMOKING WITHIN 25 FEET OF THE BUILDING." |
| 22.14 | FIRE DEPARTMENT CONNECTION RE: PLUMBING |
| 32.03 | FIRE PIT, REF. LANDSCAPE |
| 32.05 | FIRE DRINKING EDGE, REF. LANDSCAPE |

| FLOOR PLAN GENERAL NOTES | |
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| 15 | RE: A-700 SERIES SHEETS FOR UNIT PLANS. |

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| 20 | INTERIOR PARTITIONS ARE TYPE 23, U.N.O. |
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| 22 | RE: G-501 FOR ALL EXTERIOR PARTITION TYPES |
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| 24 | USE WATER RESISTANT GYP. BD FOR ALL TOILET ROOM WALLS. USE TYPE "X" GYP. BD FOR ALL TOILET ROOM CEILINGS. INSIDE SHOWER/TUB ENCLOSURES, PROVIDE CEMENT BACKERBOARD FOR CERAMIC TILE. PROVIDE CONTINUOUS 5/8" TYPE "X" GYP. BD BEHIND ALL TUBS AT PARTITION WALLS TO MAINTAIN FIRE RATING OF WALL. |
| 25 | PROVIDE FIRE STOPS AT ALL DUCT, PIPE AND CONDUIT PENETRATIONS PER SBC 704 AND 706 THROUGH WALLS & PARTITIONS REQUIRING RATING FOR FIRE OR ACoustICAL SEPARATIONS. |
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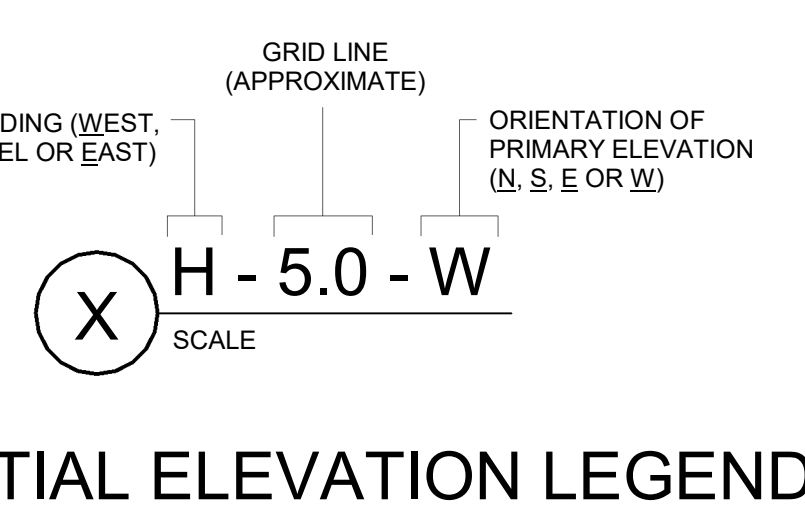
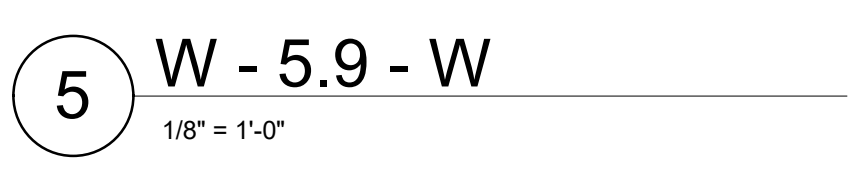
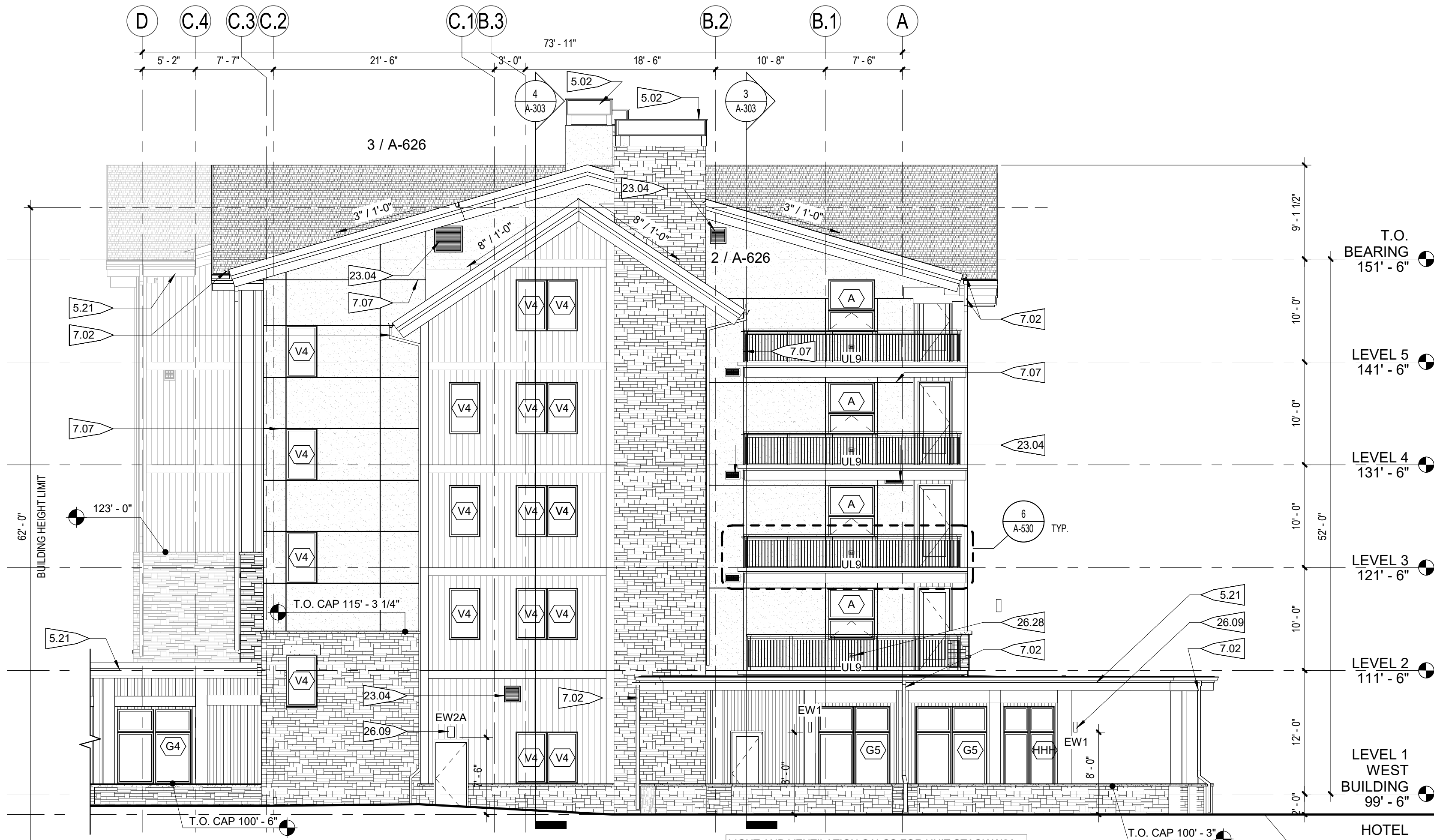
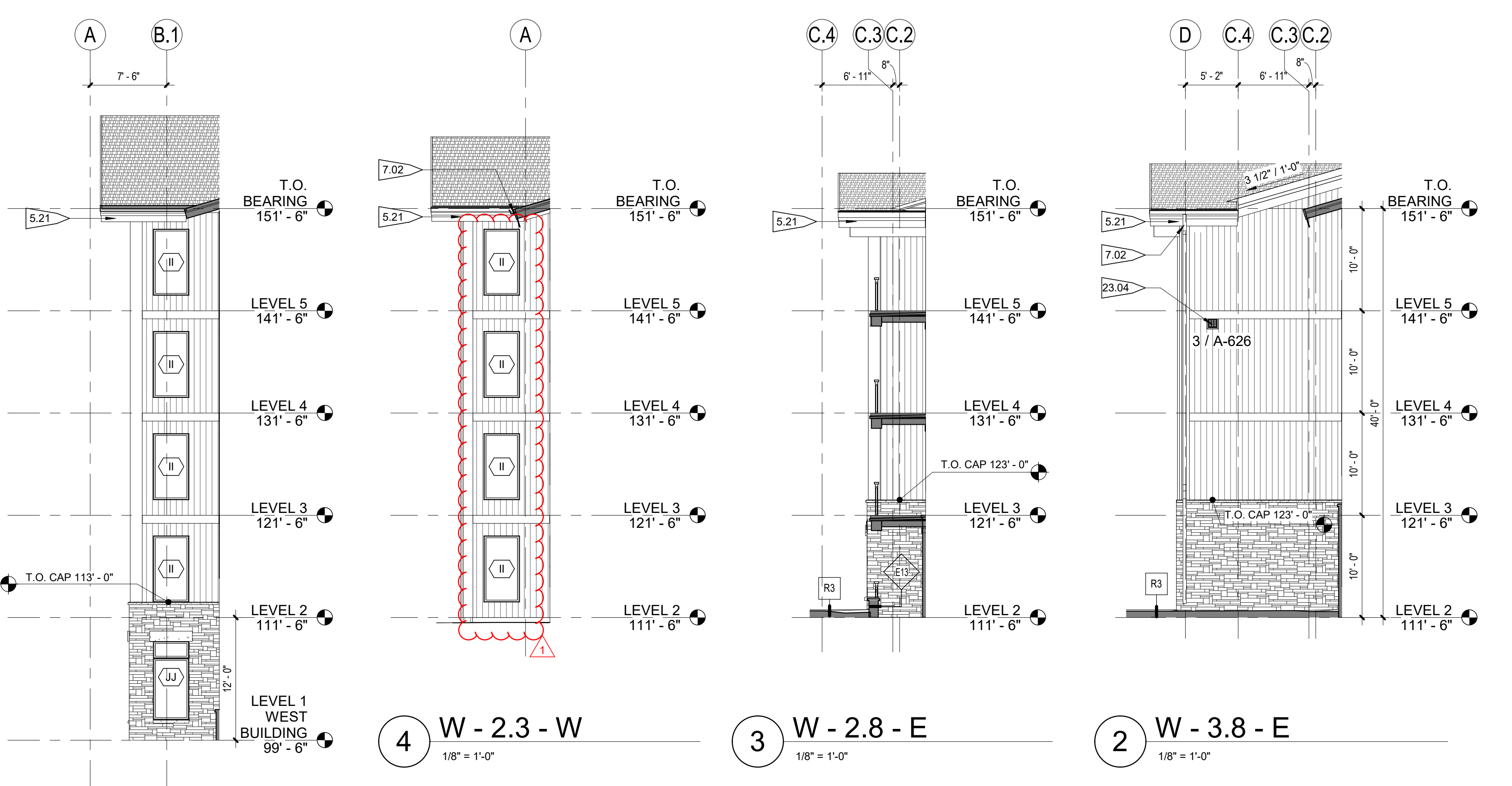
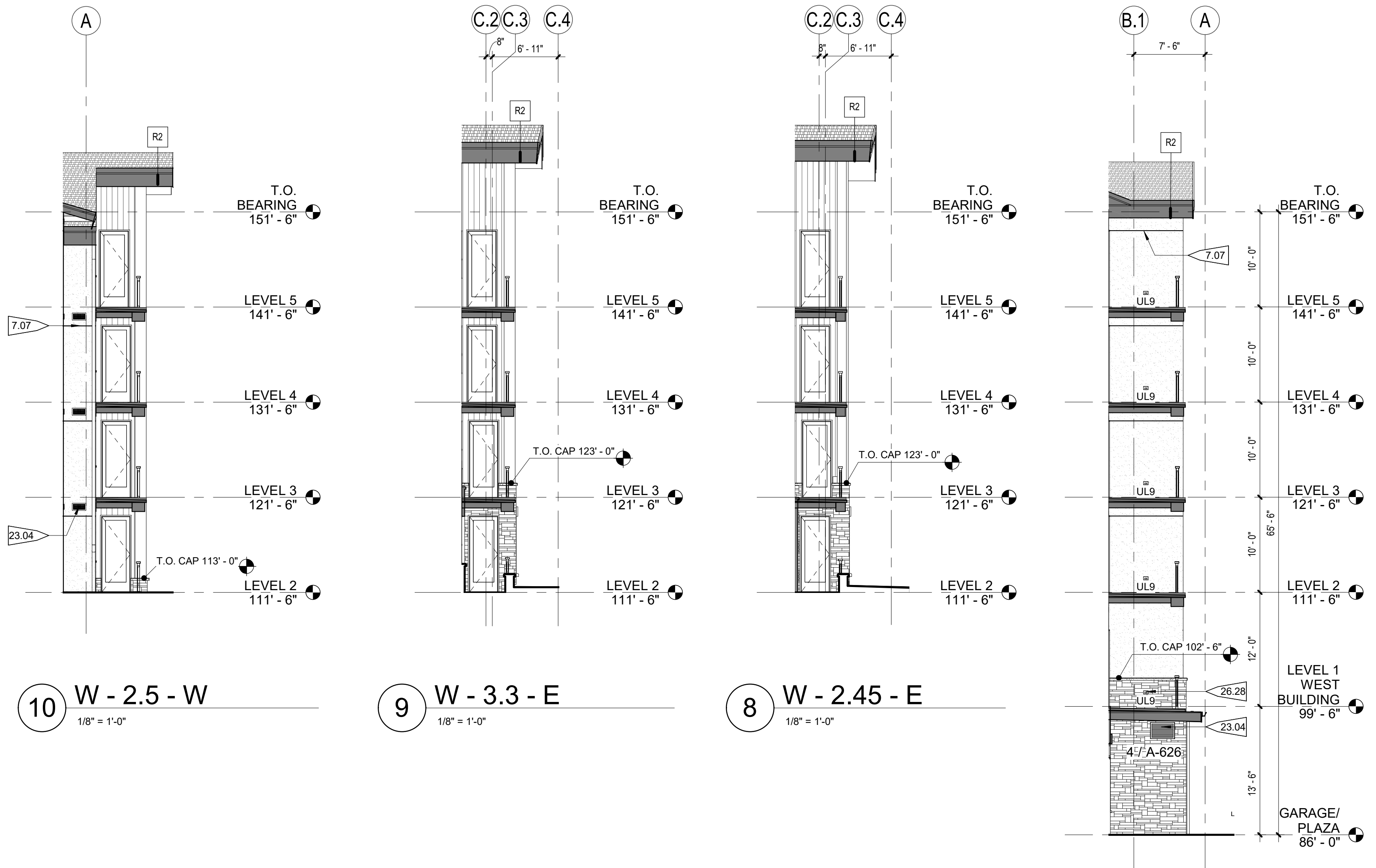


1 LEVEL 1 FLOOR PLAN - OVERALL
1/16" = 1'-0"



Kindred Resort at Keystone SPA-03 'BEFORE' - Sheet 8 of 10_ Issued 6/3/2024

2/25/2022 7:49:43 AM BM 360/117033.00 One River Run/117033_Kindred_A21_Central.mxd



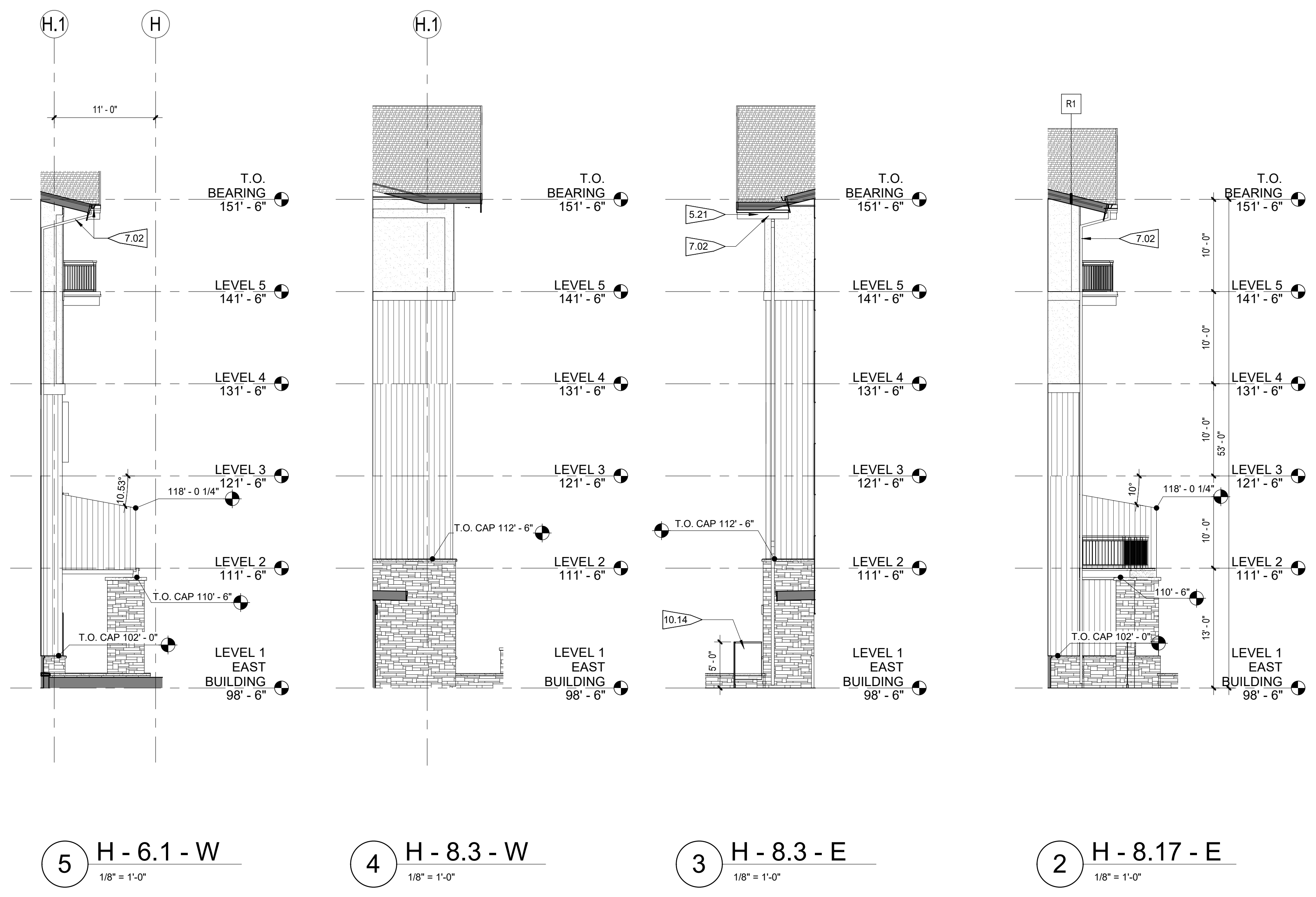
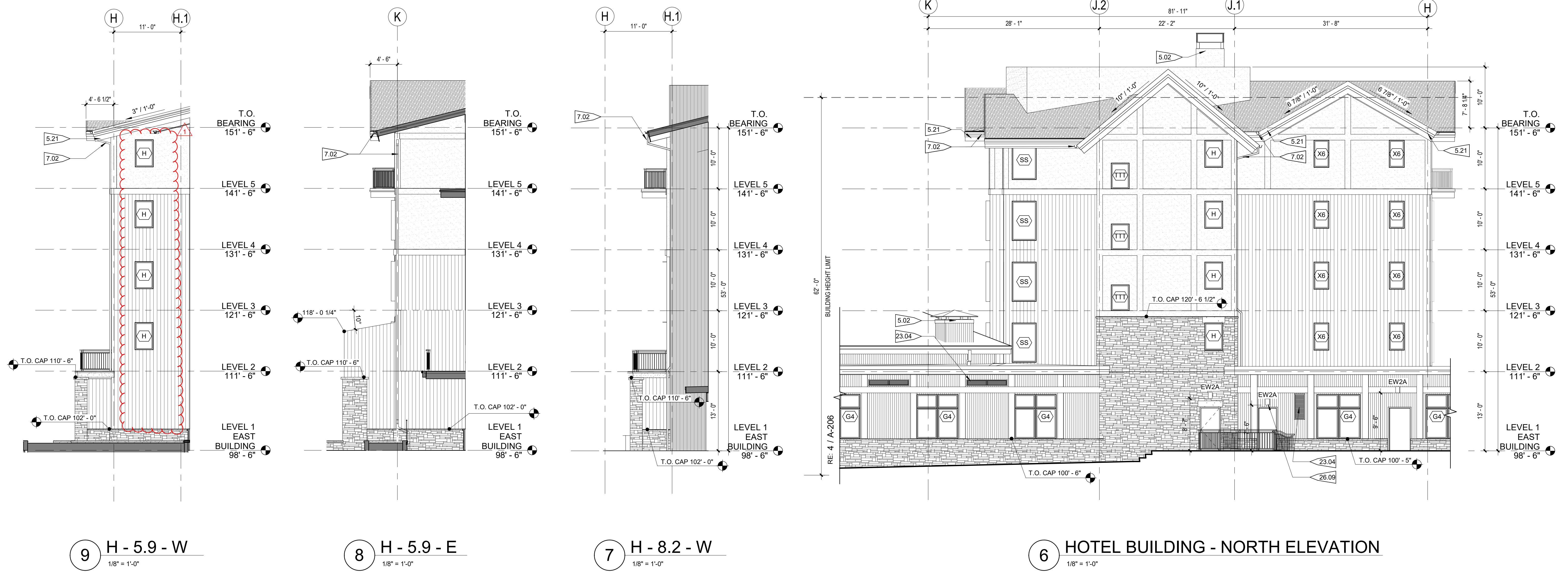
NOTES:
1. MAXIMUM HEIGHT FOR FREE STANDING LIGHT IS 16' - 0"
2. EXTERIOR BUILDING LIGHT FIXTURES LIMITED TO NO MORE THAN 15' - 0" ABOVE FINISHED GRADE AND MUST BE DARK SKY COMPLIANT.
3. EL. 99'-6" (LEVEL 1 - WEST TOWER) EQUATES TO UGSS DATUM ELEVATION OF 9352'-6".

PROJECT FLAGNOTES

| NO. | FLAGNOTE |
|-------|---|
| 5.02 | PREFINISHED FAUX METAL CHIMNEY & CAP |
| 5.21 | MTL FASCIA, RE: A-540 |
| 7.02 | PREFINISHED MTL. GUTTER AND DOWNSPOUT. DOWNSPOUT TO DAYLIGHT |
| 7.07 | AIR TRANSFER LOUVER, RE: MECH. FOR SIZE, RE: A-626 FOR LOUVER DTLS. |
| 23.04 | EXTERIOR LIGHTING, RE: EXTERIOR ELEVATIONS & LIGHTING |
| 26.09 | UNIT BALCONY STEP LIGHTING, RE: A-480 AND A-481 FOR PLACEMENT |

EXTERIOR MATERIAL LEGEND

| | |
|--|--|
| MATERIAL 1 STONE VENEER (90% BROWN/BUFF, 10% GREY MIX) | MATERIAL 5 SPLIT SANDSTONE CAP ADHERED STONE HEADER/SILL |
| MATERIAL 2 VERTICAL CEMENT BOARD SIDING (NATURAL WOOD FINISH) | MATERIAL 6 GLULAM STRUCTURE/TRIM (STAINED) |
| MATERIAL 3 VERTICAL CEMENT BOARD SIDING (CHARCOAL) | MATERIAL 7 STUCCO (CREAM) |
| MATERIAL 4 VERTICAL T&G SIDING (STAINED CEDAR) | MATERIAL 8 ASPHALT SHINGLES (DARK GREY) |



1 HOTEL BUILDING - SOUTH ELEVATION
1/8" = 1'-0"

NOTES:
1. MAXIMUM HEIGHT FOR FREE STANDING LIGHT IS 16'-0"
2. EXTERIOR BUILDING LIGHT FIXTURES LIMITED TO NO MORE THAN 15'-0" ABOVE FINISHED GRADE AND MUST BE DARK SKY COMPLIANT.
3. EL 99'-0" (LEVEL 1 - WEST TOWER) EQUATES TO USCS DATUM ELEVATION OF 9352'-6".

PROJECT FLAGNOTES

| NO. | FLAGNOTE |
|-------|---|
| 5.02 | PREFINISHED FAUX METAL CHIMNEY & CAP |
| 5.21 | MTL FASCIA, RE: A-540 |
| 7.02 | PREFINISHED MTL GUTTER AND DOWNSPOUT, DOWNSPOUT TO DAYLIGHT |
| 8.07 | SLIDER AND SIDELITE TO INCLUDE STRUCTURAL MULLION, PRICE AS ONE UNIT TO OVERALL COMBINED WIDTH. |
| 10.14 | GLASS POOL SECURITY FENCE AND GATE, RE: SPEC |
| 23.04 | AIR TRANSFER LOUVER, RE: MECH. FOR SIZE, RE: A-626 FOR LOUVER DTLS. |
| 26.09 | EXTERIOR LIGHTING, RE: EXTERIOR ELEVATIONS & LIGHTING |
| 26.28 | UNIT BALCONY STEP LIGHTING, RE: A-480 AND A-481 FOR PLACEMENT |

EXTERIOR MATERIAL LEGEND

| | |
|---|--|
| MATERIAL 1 STONE VENEER (90% BROWN/BUFF, 10% GREY MIX) | MATERIAL 5 SPLIT SANDSTONE CAP ADHERED STONE HEADER/SILL |
| MATERIAL 2 VERTICAL CEMENT BOARD SIDING (NATURAL WOOD FINISH) | MATERIAL 6 GULLIAM STRUCTURE/TRIM (STAINED) |
| MATERIAL 3 VERTICAL CEMENT BOARD SIDING (CHARCOAL) | MATERIAL 7 STUCCO (CREAM) |
| MATERIAL 4 VERTICAL T&G SIDING (STAINED CEDAR) | MATERIAL 8 ASPHALT SHINGLES (DARK GREY) |

