



PROJECT NAME:	One River Run (Kindred) 75 Hunki Dori Ct. Keystone, CO 80435	ASI #:	022.1	<input checked="" type="checkbox"/> OWNER
PROJECT #:	117033	DATE OF ISSUANCE:	REV1 07/18/24	<input checked="" type="checkbox"/> ARCHITECT
OWNER:	One River Run Acquisition Keystone Investments, LLC 132 West Main Street, Suite D Aspen, CO 81611	ARCHITECT:	OZ Architecture, Inc.	<input type="checkbox"/> CONSULTANT
		TO CONTRACTOR:	PCL Construction Services, Inc	<input checked="" type="checkbox"/> CONTRACTOR
		CONTRACT FOR:	GMP/Building Permit Resubmittal	<input type="checkbox"/> FIELD
		CONTRACT DATED:	September 23, 2021	<input type="checkbox"/>

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

DESCRIPTION: This revision to ASI-022 (issued as ASI-022.1) incorporates four (4) updated Civil drawings, to re-coordinate grading requirements after the removal of an existing transformer by Xcel near the SE corner of the project site. The removal of the existing transformer effectively eliminates the need for the 42" tall curb previously shown near the SE corner of the site. Sheets C-104, C-105, C-108 and C-109 are revised to remove the 42" tall curb in question, as well as the related transformer. These are the only changes to previously issued ASI-022.

ATTACHMENTS:

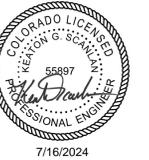
Four (4) full size revised Civil Sheets; C-104, C-105, C-108 and C-109.

ISSUED BY: Tim Ross, Senior Project Architect

OZ ARCHITECTURE INC.



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130 SKI HILL ROAD SUITE 140
BRECKENRIDGE, COLORADO 80424
PHONE: (970)453-6394

ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17

07/16/24 - TRANSFORMER REMOVAL

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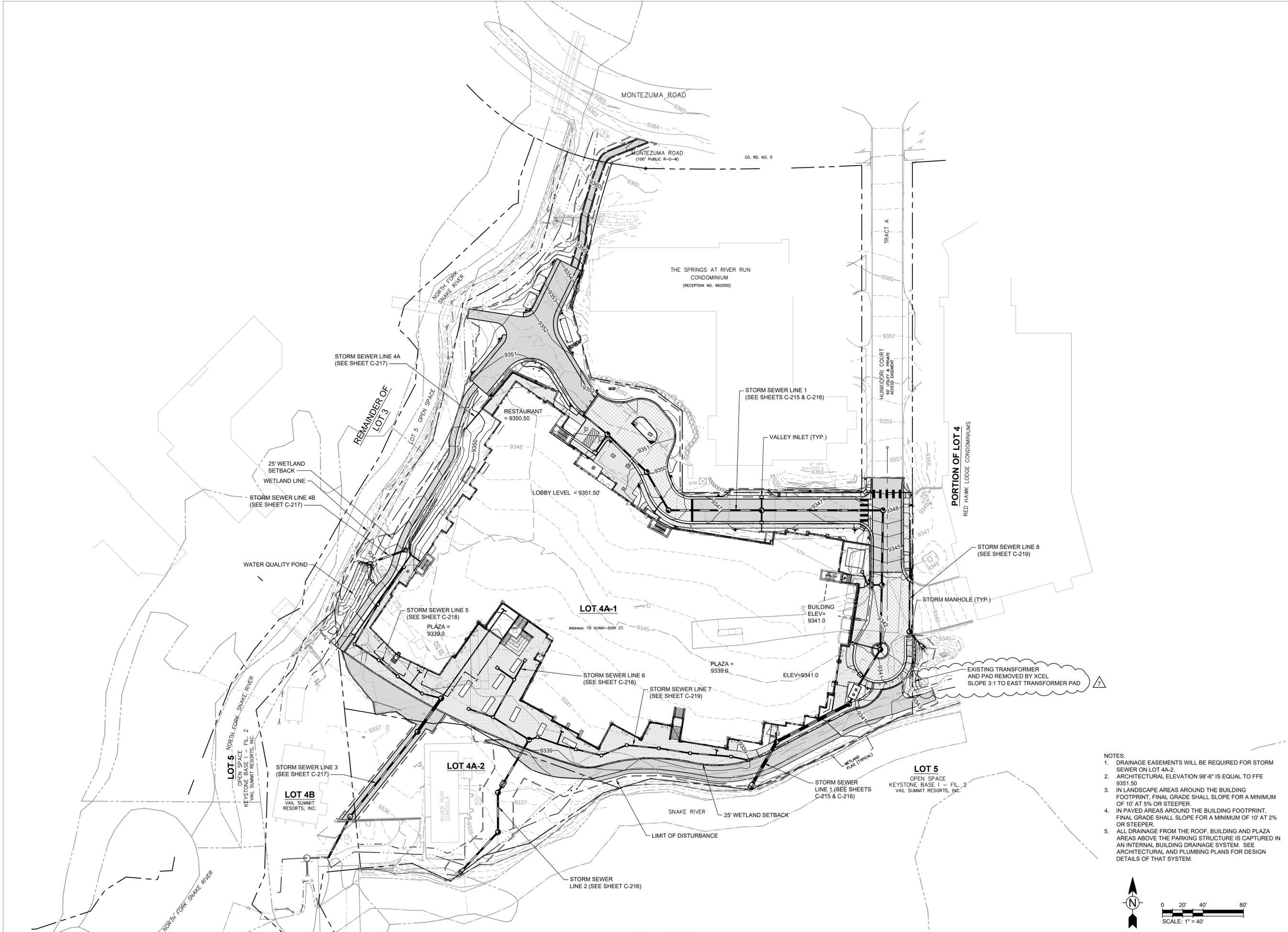
ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL

SHEET TITLE:
OVERALL GRADING &
DRAINAGE PLAN

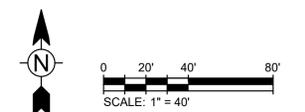
SCALE: 1" = 40'
SHEET NUMBER

C-105

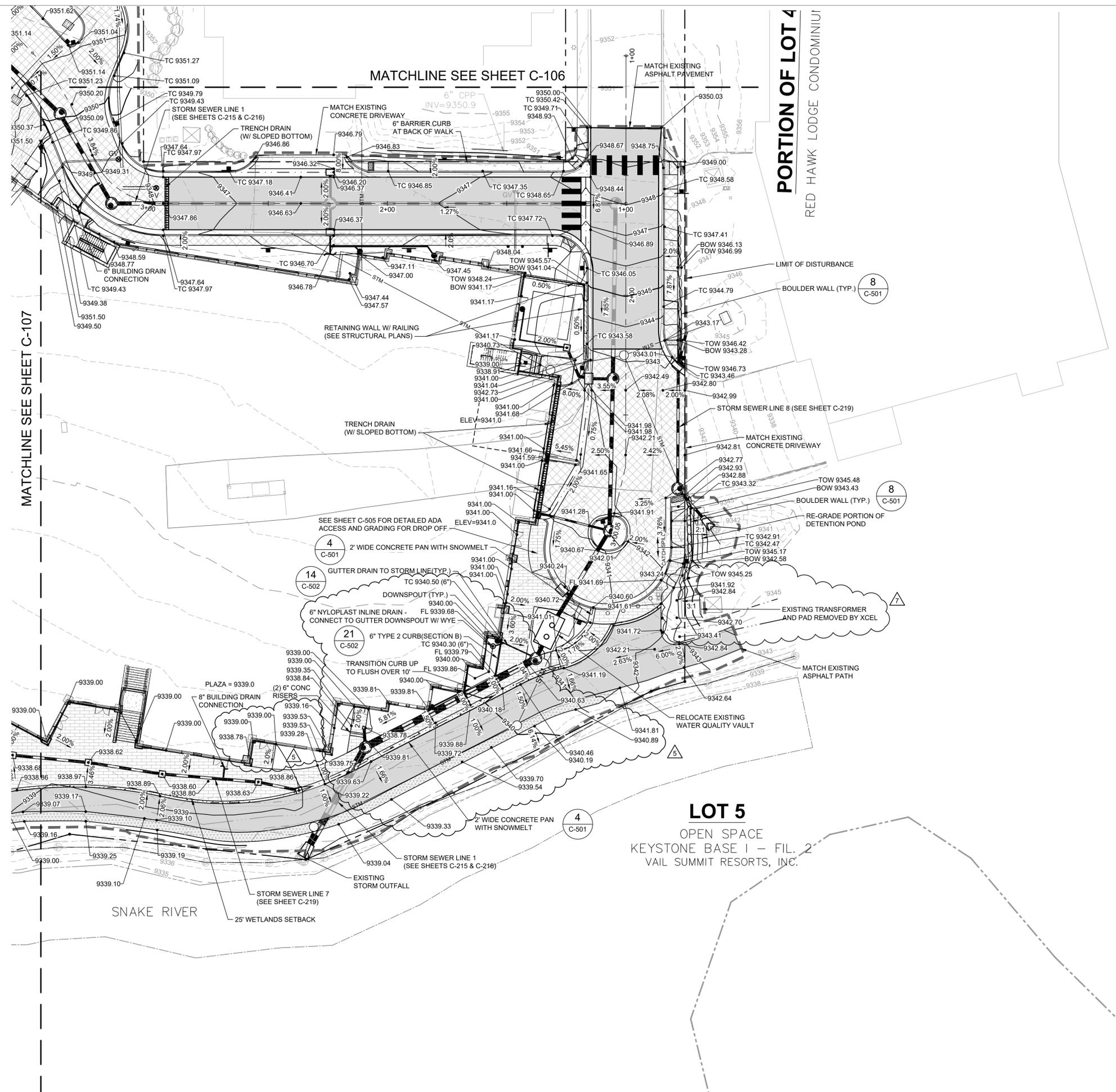
7/16/2024 10:03:41 AM - O:\PROJECTS\BRECKENRIDGE\23526\2001\CAD\DRAINAGE\DRAINAGE PLAN\DWG - SCANLAN, KEATON



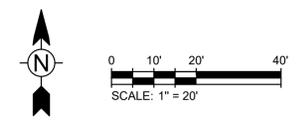
- NOTES:
1. DRAINAGE EASEMENTS WILL BE REQUIRED FOR STORM SEWER ON LOT 4A-2.
 2. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
 3. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 4. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.
 5. ALL DRAINAGE FROM THE ROOF, BUILDING AND PLAZA AREAS ABOVE THE PARKING STRUCTURE IS CAPTURED IN AN INTERNAL BUILDING DRAINAGE SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DESIGN DETAILS OF THAT SYSTEM.



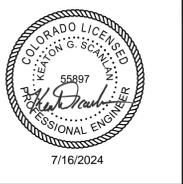
7/16/2024 10:04:13 AM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHEETFILES\C106 DETAILED GRADING AND DRAINAGE PLAN.DWG - SCANLAN, KEATON



- NOTES:
1. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
 2. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 3. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.



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KEYSTONE, CO 80435

PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17
 05/13/24 - SE BUILDING CORNER
 07/16/24 - TRANSFORMER REMOVAL

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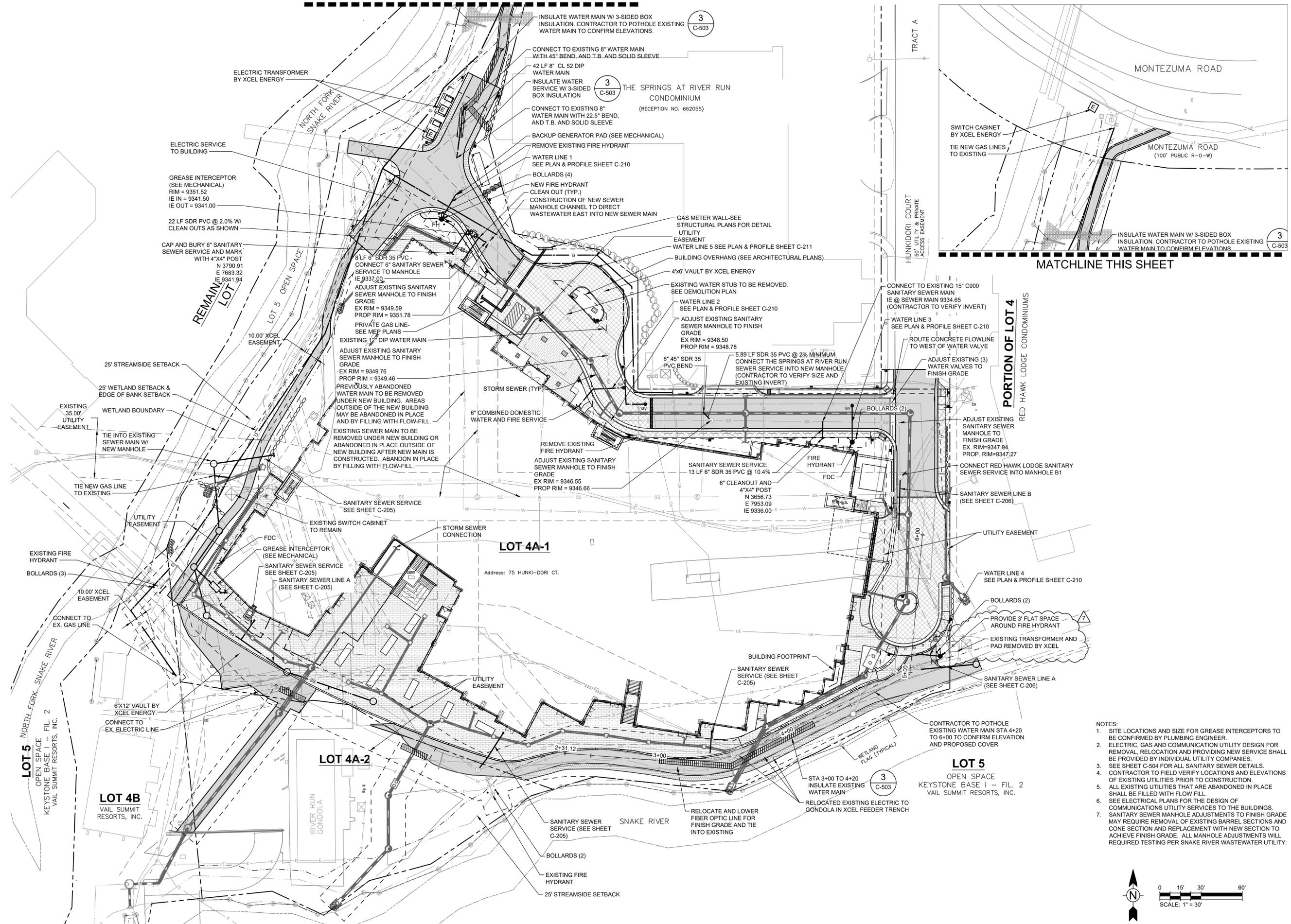
ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL
SHEET TITLE:
DETAILED GRADING
AND DRAINAGE PLAN

SCALE: 1" = 20'
SHEET NUMBER

C-108

7/16/2024 10:04:42 AM - O:\PROJECTS\BRECKENRIDGE\23526\2001\CAD\23526-20001\CAD\23526-20001\COMPOSITE UTILITY PLAN.DWG - SCANLAN, KEATON

MATCHLINE THIS SHEET



INSULATE WATER MAIN W/ 3-SIDED BOX INSULATION. CONTRACTOR TO POTHOLE EXISTING WATER MAIN TO CONFIRM ELEVATIONS. **3** C-503

CONNECT TO EXISTING 8" WATER MAIN WITH 45° BEND, AND T.B. AND SOLID SLEEVE
42 LF 8" CL 52 DIP WATER MAIN
INSULATE WATER SERVICE W/ 3-SIDED BOX INSULATION **3** C-503

CONNECT TO EXISTING 8" WATER MAIN WITH 22.5° BEND, AND T.B. AND SOLID SLEEVE
BACKUP GENERATOR PAD (SEE MECHANICAL)
REMOVE EXISTING FIRE HYDRANT
WATER LINE 1
SEE PLAN & PROFILE SHEET C-210

BOLLARDS (4)
NEW FIRE HYDRANT
CLEAN OUT (TYP.)
CONSTRUCTION OF NEW SEWER MANHOLE CHANNEL TO DIRECT WASTEWATER EAST INTO NEW SEWER MAIN

GAS METER WALL-SEE STRUCTURAL PLANS FOR DETAIL
UTILITY EASEMENT
WATER LINE 5 SEE PLAN & PROFILE SHEET C-211
BUILDING OVERHANG (SEE ARCHITECTURAL PLANS)

4x6' VAULT BY XCEL ENERGY
EXISTING WATER STUB TO BE REMOVED. SEE DEMOLITION PLAN
WATER LINE 2
SEE PLAN & PROFILE SHEET C-210

ADJUST EXISTING SANITARY SEWER MANHOLE TO FINISH GRADE
EX RIM = 9349.59
PROP RIM = 9351.78
PRIVATE GAS LINE- SEE MEP PLANS

EXISTING 12" DIP WATER MAIN
ADJUST EXISTING SANITARY SEWER MANHOLE TO FINISH GRADE
EX RIM = 9349.76
PROP RIM = 9349.46

PREVIOUSLY ABANDONED WATER MAIN TO BE REMOVED UNDER NEW BUILDING. AREAS OUTSIDE OF THE NEW BUILDING MAY BE ABANDONED IN PLACE AND BY FILLING WITH FLOW-FILL.

EXISTING SEWER MAIN TO BE REMOVED UNDER NEW BUILDING OR ABANDONED IN PLACE OUTSIDE OF NEW BUILDING AFTER NEW MAIN IS CONSTRUCTED. ABANDON IN PLACE BY FILLING WITH FLOW-FILL.

6" COMBINED DOMESTIC WATER AND FIRE SERVICE
REMOVE EXISTING FIRE HYDRANT
ADJUST EXISTING SANITARY SEWER MANHOLE TO FINISH GRADE
EX RIM = 9346.55
PROP RIM = 9346.66

SANITARY SEWER SERVICE
13 LF 6" SDR 35 PVC @ 10.4%
6" CLEANOUT AND 4"x4" POST
N 3656.73
E 7953.09
IE 9336.00

5.89 LF SDR 35 PVC @ 2% MINIMUM
CONNECT THE SPRINGS AT RIVER RUN SEWER SERVICE INTO NEW MANHOLE (CONTRACTOR TO VERIFY SIZE AND EXISTING INVERT)

CONNECT TO EXISTING 15" C900 SANITARY SEWER MAIN IE @ SEWER MAIN 9334.65 (CONTRACTOR TO VERIFY INVERT)

WATER LINE 3
SEE PLAN & PROFILE SHEET C-210
ROUTE CONCRETE FLOWLINE TO WEST OF WATER VALVE

ADJUST EXISTING (3) WATER VALVES TO FINISH GRADE
ADJUST EXISTING SANITARY SEWER MANHOLE TO FINISH GRADE
EX. RIM=9347.94
PROP. RIM=9347.27

CONNECT RED HAWK LODGE SANITARY SEWER SERVICE INTO MANHOLE B1
SANITARY SEWER LINE B (SEE SHEET C-206)

UTILITY EASEMENT
WATER LINE 4
SEE PLAN & PROFILE SHEET C-210

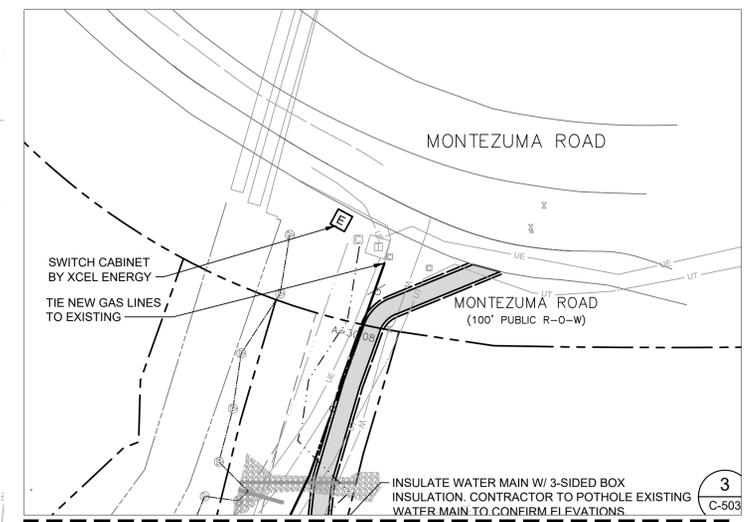
BOLLARDS (2)
PROVIDE 3' FLAT SPACE AROUND FIRE HYDRANT
EXISTING TRANSFORMER AND PAD REMOVED BY XCEL

SANITARY SEWER LINE A (SEE SHEET C-206)

CONTRACTOR TO POTHOLE EXISTING WATER MAIN STA 4+20 TO 6+00 TO CONFIRM ELEVATION AND PROPOSED COVER

RELOCATE AND LOWER FIBER OPTIC LINE FOR FINISH GRADE AND TIE INTO EXISTING
RELOCATED EXISTING ELECTRIC TO GONDOLA IN XCEL FEEDER TRENCH

SANITARY SEWER SERVICE (SEE SHEET C-205)
BOLLARDS (2)
EXISTING FIRE HYDRANT
25' STREAMSIDE SETBACK



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ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL
SHEET TITLE:
COMPOSITE UTILITY PLAN

SCALE: 1" = 30'
SHEET NUMBER

C-109

- NOTES:
- SITE LOCATIONS AND SIZE FOR GREASE INTERCEPTORS TO BE CONFIRMED BY PLUMBING ENGINEER.
 - ELECTRIC, GAS AND COMMUNICATION UTILITY DESIGN FOR REMOVAL, RELOCATION AND PROVIDING NEW SERVICE SHALL BE PROVIDED BY INDIVIDUAL UTILITY COMPANIES.
 - SEE SHEET C-504 FOR ALL SANITARY SEWER DETAILS.
 - CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE FILLED WITH FLOW FILL.
 - SEE ELECTRICAL PLANS FOR THE DESIGN OF COMMUNICATIONS UTILITY SERVICES TO THE BUILDINGS.
 - SANITARY SEWER MANHOLE ADJUSTMENTS TO FINISH GRADE MAY REQUIRE REMOVAL OF EXISTING BARREL SECTIONS AND CONE SECTION AND REPLACEMENT WITH NEW SECTION TO ACHIEVE FINISH GRADE. ALL MANHOLE ADJUSTMENTS WILL REQUIRE TESTING PER SNAKE RIVER WASTEWATER UTILITY.

