



MEMORANDUM

TO: Lindsay Hirsh
Town of Keystone
Community Development Director
1628 Saint John Rd.
Keystone, CO 80435

ISSUE DATE: 07/18/2024

FROM: OZ Architecture

PROJECT NAME: Kindred Resort

SUBJECT: Site Plan Amendment-03
Comment Response

PROJECT #: 17033.00

CC: KNC, ORRA, Project File

PREPARED BY: Tim Ross, OZ

Lindsay,

Please see below for OZ Architecture's response in support of Site Plan Amendment 03 for the Kindred Resort Project to the one (1) review comment provided by Snake River Water District, as noted in the **Referral and Review Follow-Up Comments for TOK24-003** letter received on July 3, 2024.

In that letter, SRWD had the following comment: *"I reviewed the revised grading plan (attachment D.05) and Ron was correct, they're adding a 42" vertical curb near the SE hydrant to address grade differences between the hydrant and transformer. The vertical curb will be 3' away from the hydrant which will have 2 bollards installed in front for protection. The curb is cast in place concrete with contraction joints every 10 feet. My concern is if we had to excavate that area for valve or pipe repairs (there is an offset fitting between gate valve and hydrant) then excavator would need to support the curb wall or deal with undermining."*

As a prelude to our response, it is significant to note that the design team was recently informed that the local utility provider (Xcel) has since removed the transformer driving the need for the 42" vertical curb in question. Therefore, the condition that created the need for a 42" tall curb has been removed, and the original design can be employed.

Removal of the high-backed curb, and reversion to the previously approved configuration is shown in revised Sheets C-104, C-105, C-108 and C-109. Confirmation of the removal of the transformer by Xcel and the subsequent removal of the need for a 42" tall curb can be found in the attached email thread between OZ and Tetra Tech dated 7/8/24. Accordingly, OZ has issued ASI-022.1 to incorporate the updated Civil sheets noted herein.

We submit that issuance of ASI-022.1, and specifically the revisions to the four (4) civil plans noted above addresses the Snake River Water District's review comment by removing the condition of concern to SRWD. We are hopeful that this response will result in the formal approval of SPA-03 by the Town of Keystone and the KNC for the above referenced project. Please contact OZ if there are any remaining questions on the pending Class 2 Site Plan Amendment for Kindred Resort at Keystone.

Respectfully,

Tim Ross – Senior Project Architect
OZ Architecture

END OF MEMO

Attachments; ASI-022.1 which includes (4) revised Civil sheets; C-104, C-105, C-108 and C-109, OZ-TT Email thread dated 7/8/2024.



PROJECT NAME:	One River Run (Kindred) 75 Hunki Dori Ct. Keystone, CO 80435	ASI #:	022.1	<input checked="" type="checkbox"/> OWNER
PROJECT #:	117033	DATE OF ISSUANCE:	REV1 07/18/24	<input checked="" type="checkbox"/> ARCHITECT
OWNER:	One River Run Acquisition Keystone Investments, LLC 132 West Main Street, Suite D Aspen, CO 81611	ARCHITECT:	OZ Architecture, Inc.	<input type="checkbox"/> CONSULTANT
		TO CONTRACTOR:	PCL Construction Services, Inc	<input checked="" type="checkbox"/> CONTRACTOR
		CONTRACT FOR:	GMP/Building Permit Resubmittal	<input type="checkbox"/> FIELD
		CONTRACT DATED:	September 23, 2021	<input type="checkbox"/>

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

DESCRIPTION: This revision to ASI-022 (issued as ASI-022.1) incorporates four (4) updated Civil drawings, to re-coordinate grading requirements after the removal of an existing transformer by Xcel near the SE corner of the project site. The removal of the existing transformer effectively eliminates the need for the 42" tall curb previously shown near the SE corner of the site. Sheets C-104, C-105, C-108 and C-109 are revised to remove the 42" tall curb in question, as well as the related transformer. These are the only changes to previously issued ASI-022.

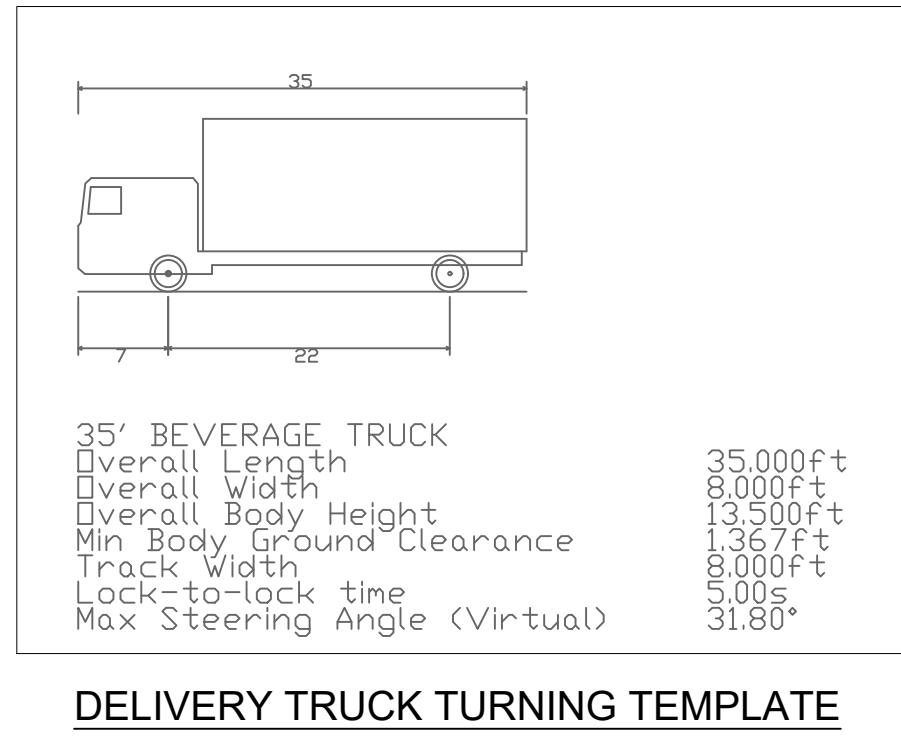
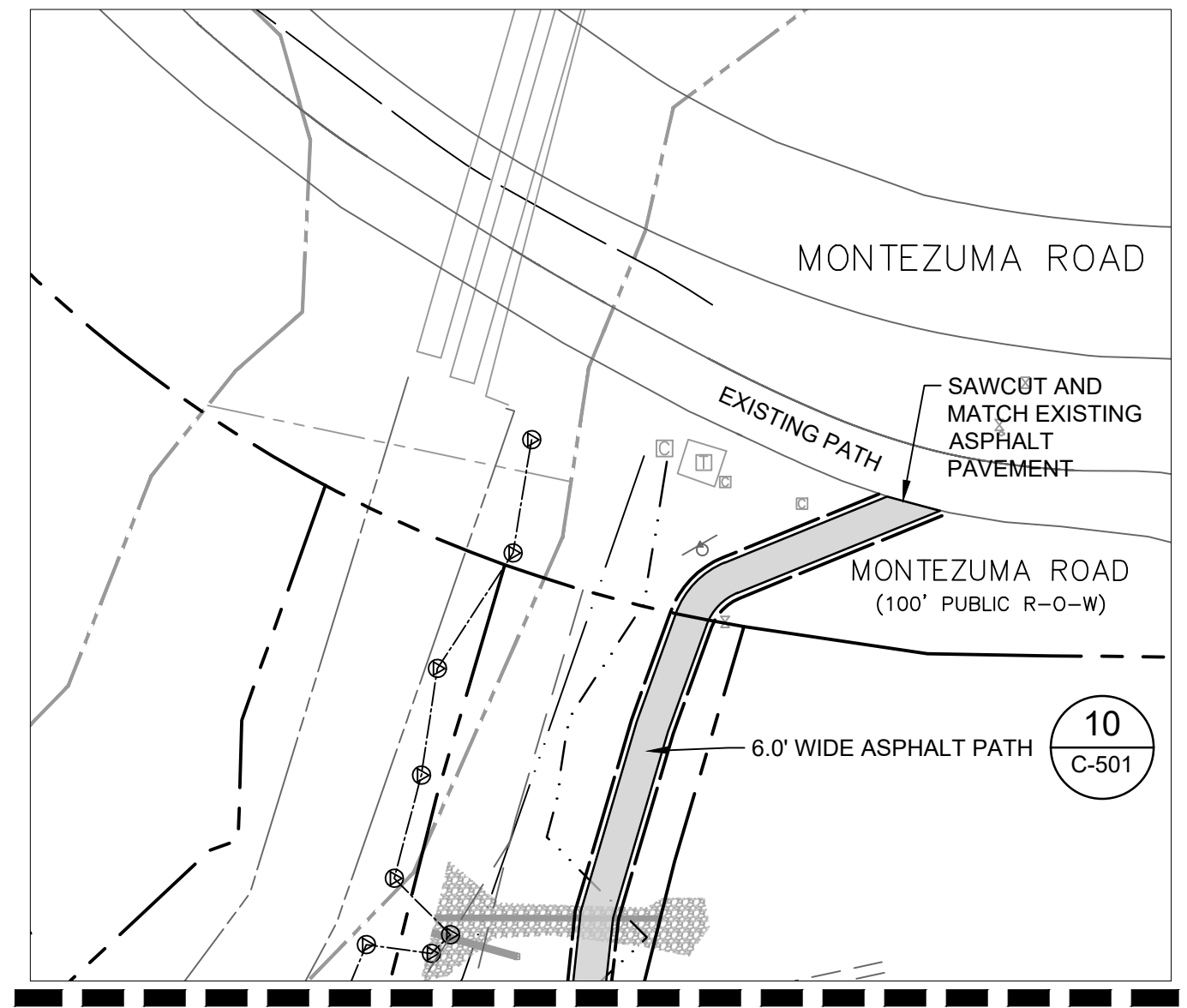
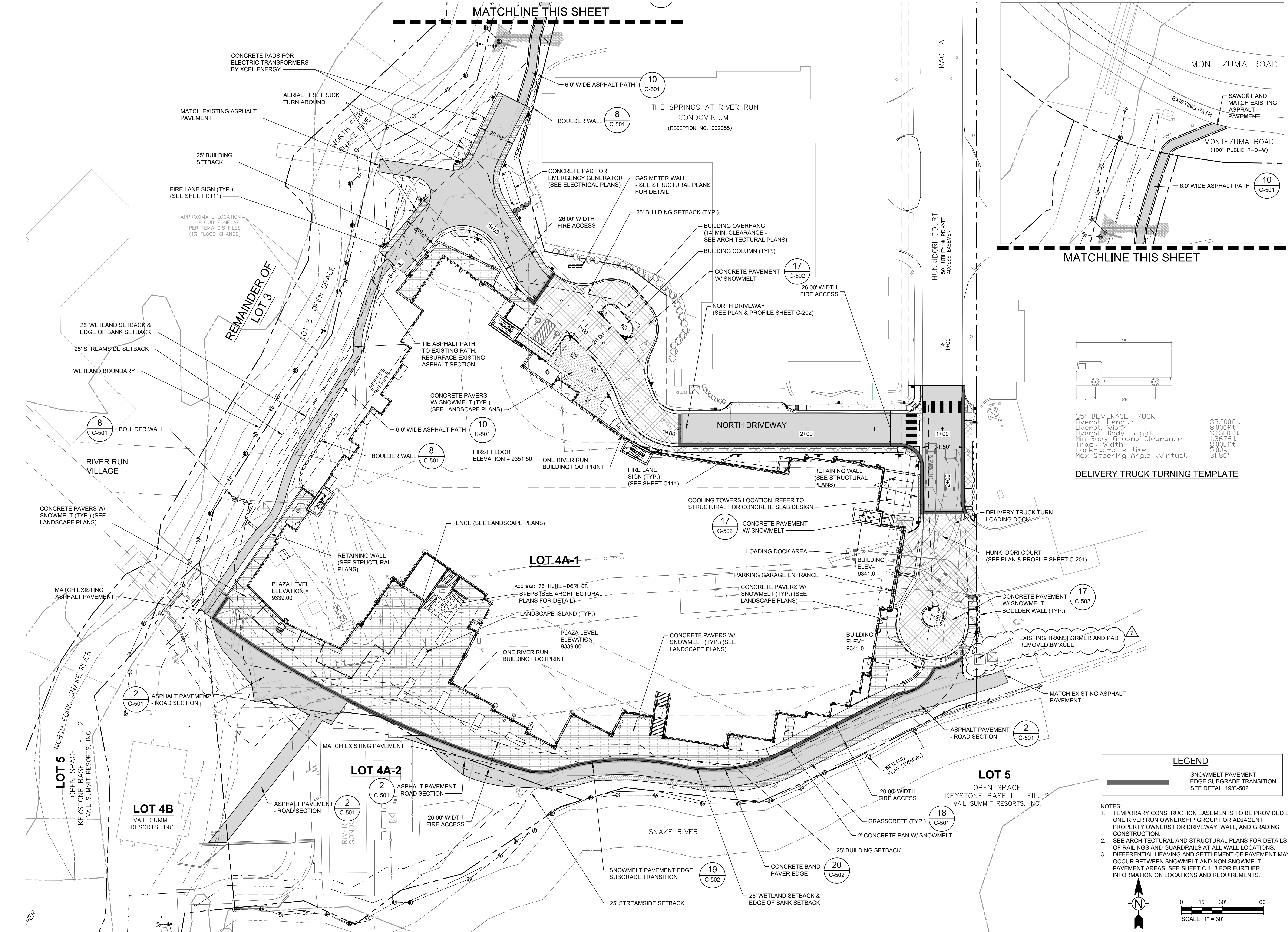
ATTACHMENTS:

Four (4) full size revised Civil Sheets; C-104, C-105, C-108 and C-109.

ISSUED BY: Tim Ross, Senior Project Architect

OZ ARCHITECTURE INC.

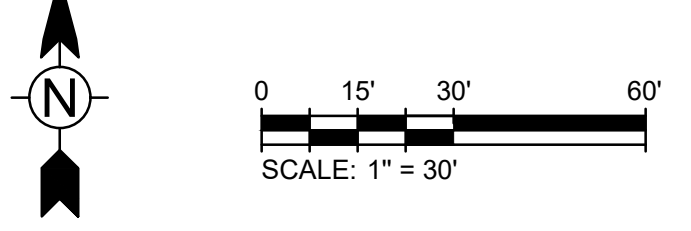
7/16/2024 10:03:20 AM - O:\PROJECTS\BRECKENRIDGE\23526-20001\CAD\SHEETFILES\C104 SITE PLAN.DWG - SCANLAN, KEATON



LEGEND

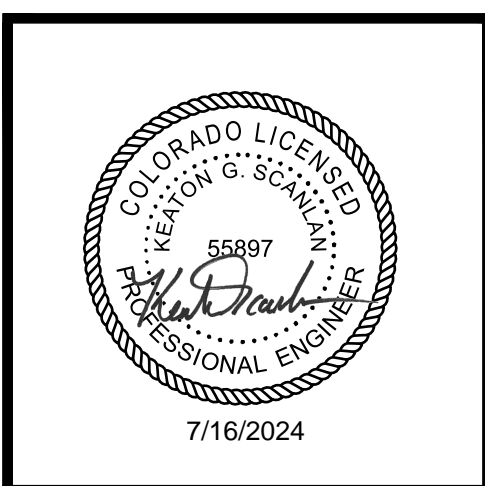
	SNOWMELT PAVEMENT
	EDGE SUBGRADE TRANSITION
	SEE DETAIL 19/C-502

- NOTES:**
- TEMPORARY CONSTRUCTION EASEMENTS TO BE PROVIDED BY ONE RIVER RUN OWNERSHIP GROUP FOR ADJACENT PROPERTY OWNERS FOR DRIVEWAY, WALL, AND GRADING CONSTRUCTION.
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS OF RAILINGS AND GUARDRAILS AT ALL WALL LOCATIONS.
 - DIFFERENTIAL HEAVING AND SETTLEMENT OF PAVEMENT MAY OCCUR BETWEEN SNOWMELT AND NON-SNOWMELT PAVEMENT AREAS. SEE SHEET C-113 FOR FURTHER INFORMATION ON LOCATIONS AND REQUIREMENTS.



OZ ARCHITECTURE

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TETRA TECH

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BRECKENRIDGE, COLORADO 80424
PHONE: (970)453-6394

ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

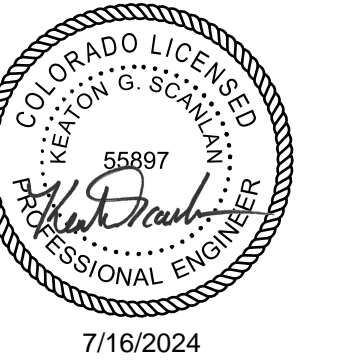
PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17
▲ - 07/16/24 - TRANSFORMER REMOVAL

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ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL
SHEET TITLE:
CIVIL SITE PLAN
SCALE: 1" = 30'
SHEET NUMBER
C-104



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PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17

07/16/24 - TRANSFORMER REMOVAL

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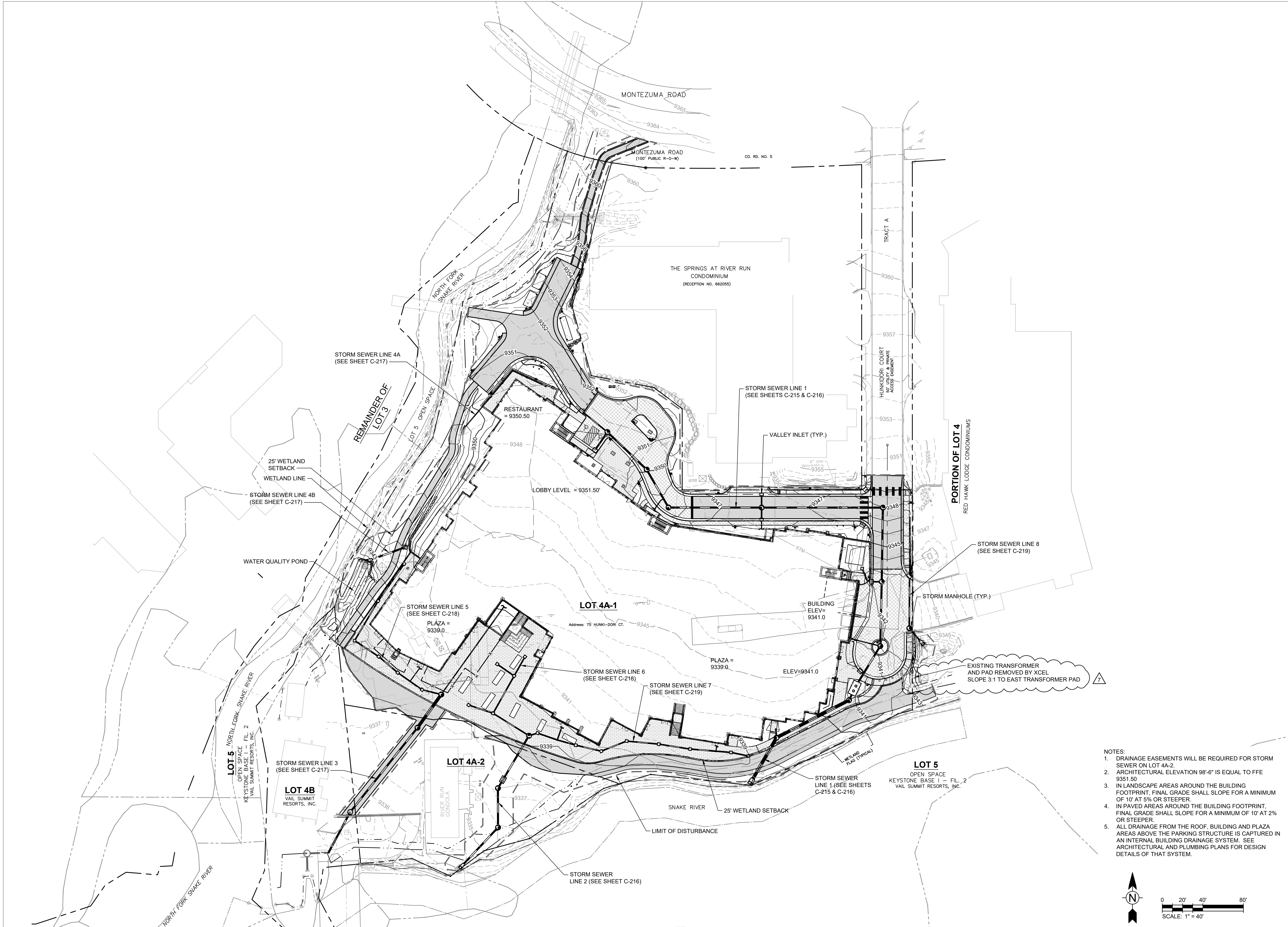
ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL

SHEET TITLE:
OVERALL GRADING &
DRAINAGE PLAN

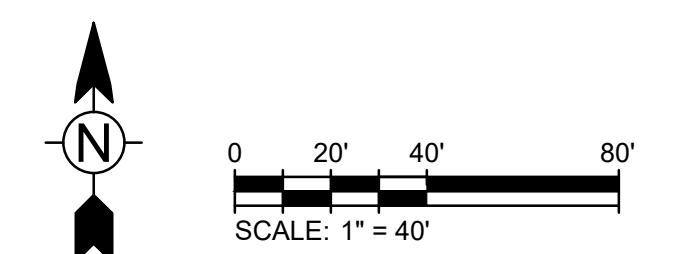
SCALE: 1" = 40'
SHEET NUMBER

C-105

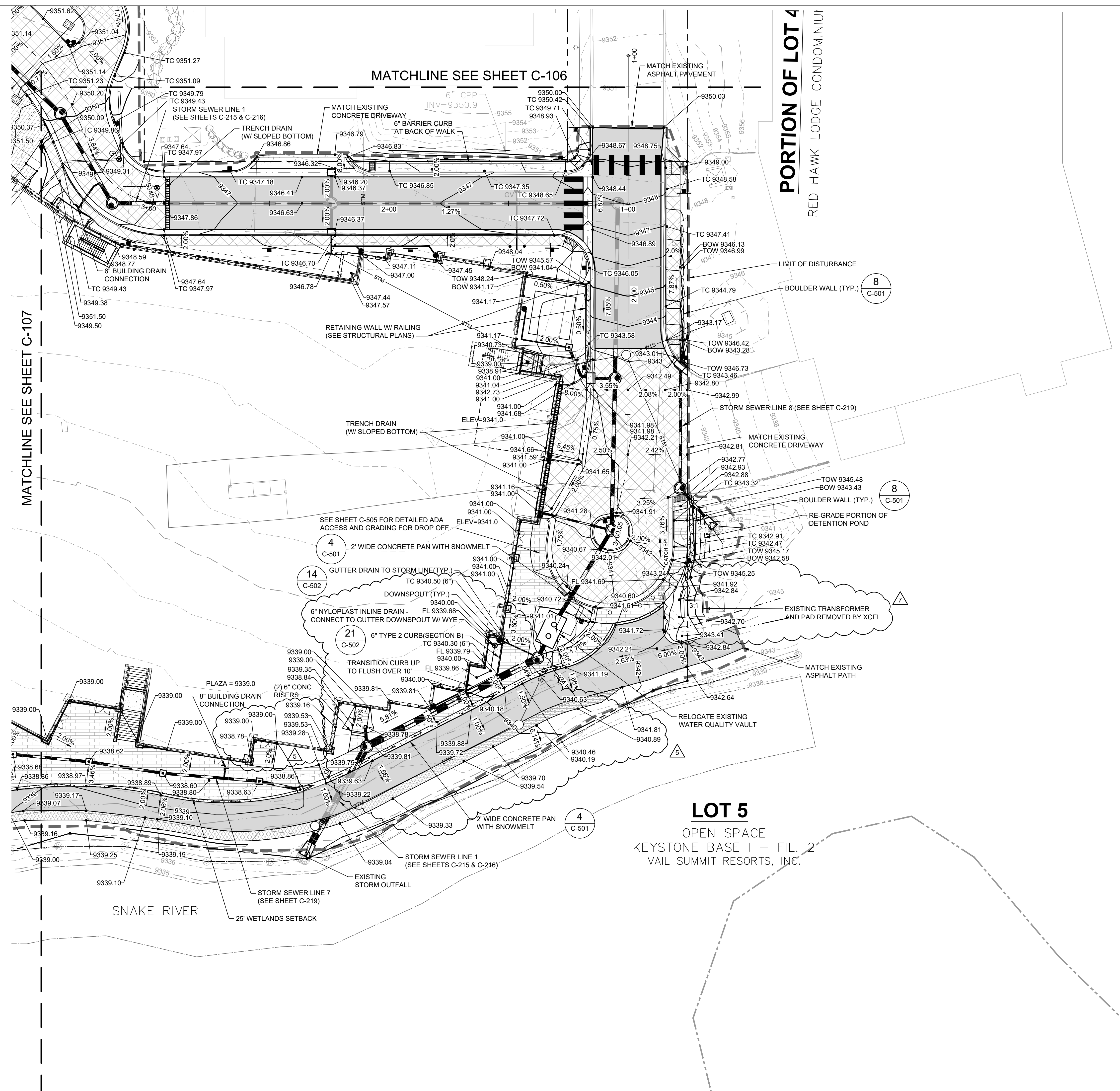
7/16/2024 10:03:41 AM - O:\PROJECTS\BRECKENRIDGE\23526\20001\CAD\DRAINAGE AND GRADING\105 GRADING AND DRAINAGE PLAN.DWG - SCANLAN, KEATON



- NOTES:
1. DRAINAGE EASEMENTS WILL BE REQUIRED FOR STORM SEWER ON LOT 4A-2.
 2. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
 3. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 4. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.
 5. ALL DRAINAGE FROM THE ROOF, BUILDING AND PLAZA AREAS ABOVE THE PARKING STRUCTURE IS CAPTURED IN AN INTERNAL BUILDING DRAINAGE SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR DESIGN DETAILS OF THAT SYSTEM.



7/16/2024 10:04:13 AM - O:\PROJECTS\BRECKENRIDGE\23526\200-23526-20001\CAD\SHEETFILES\C106 DETAILED GRADING AND DRAINAGE PLAN.DWG - SCANLAN, KEATON



MATCHLINE SEE SHEET C-107

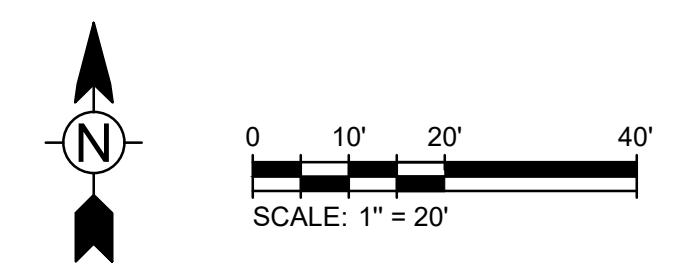
MATCHLINE SEE SHEET C-106

PORTION OF LOT 4
RED HAWK LODGE CONDOMINIUM

SNAKE RIVER

LOT 5
OPEN SPACE
KEYSTONE BASE I - FIL. 2
VAIL SUMMIT RESORTS, INC.

- NOTES:
1. ARCHITECTURAL ELEVATION 98'-6" IS EQUAL TO FFE 9351.50
 2. IN LANDSCAPE AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 5% OR STEEPER.
 3. IN PAVED AREAS AROUND THE BUILDING FOOTPRINT, FINAL GRADE SHALL SLOPE FOR A MINIMUM OF 10' AT 2% OR STEEPER.



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PHONE: (970)453-6394

ONE RIVER RUN
75 HUNKI DORI CT.
KEYSTONE, CO 80435

PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17
05/13/24 - SE BUILDING CORNER
07/16/24 - TRANSFORMER REMOVAL

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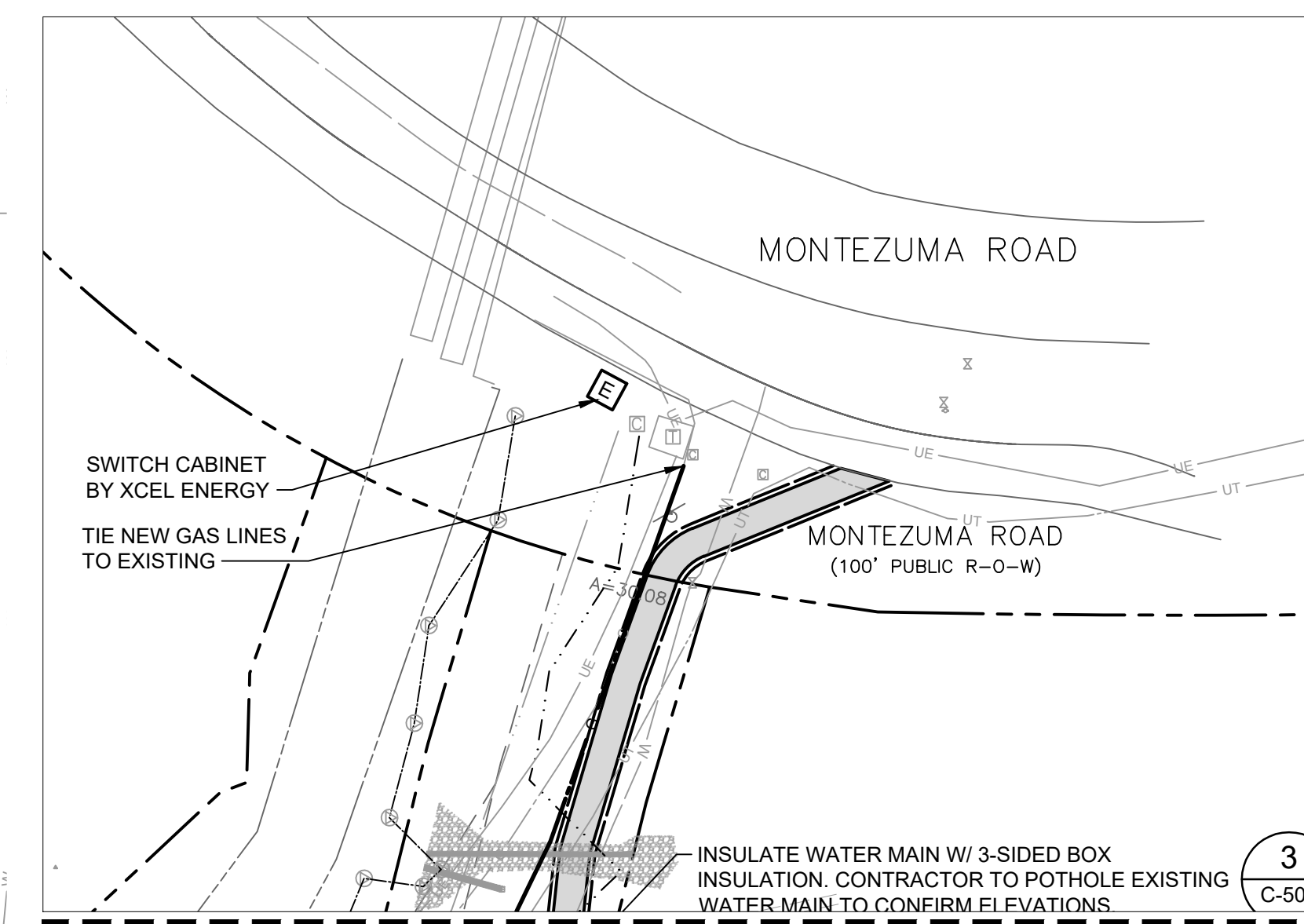
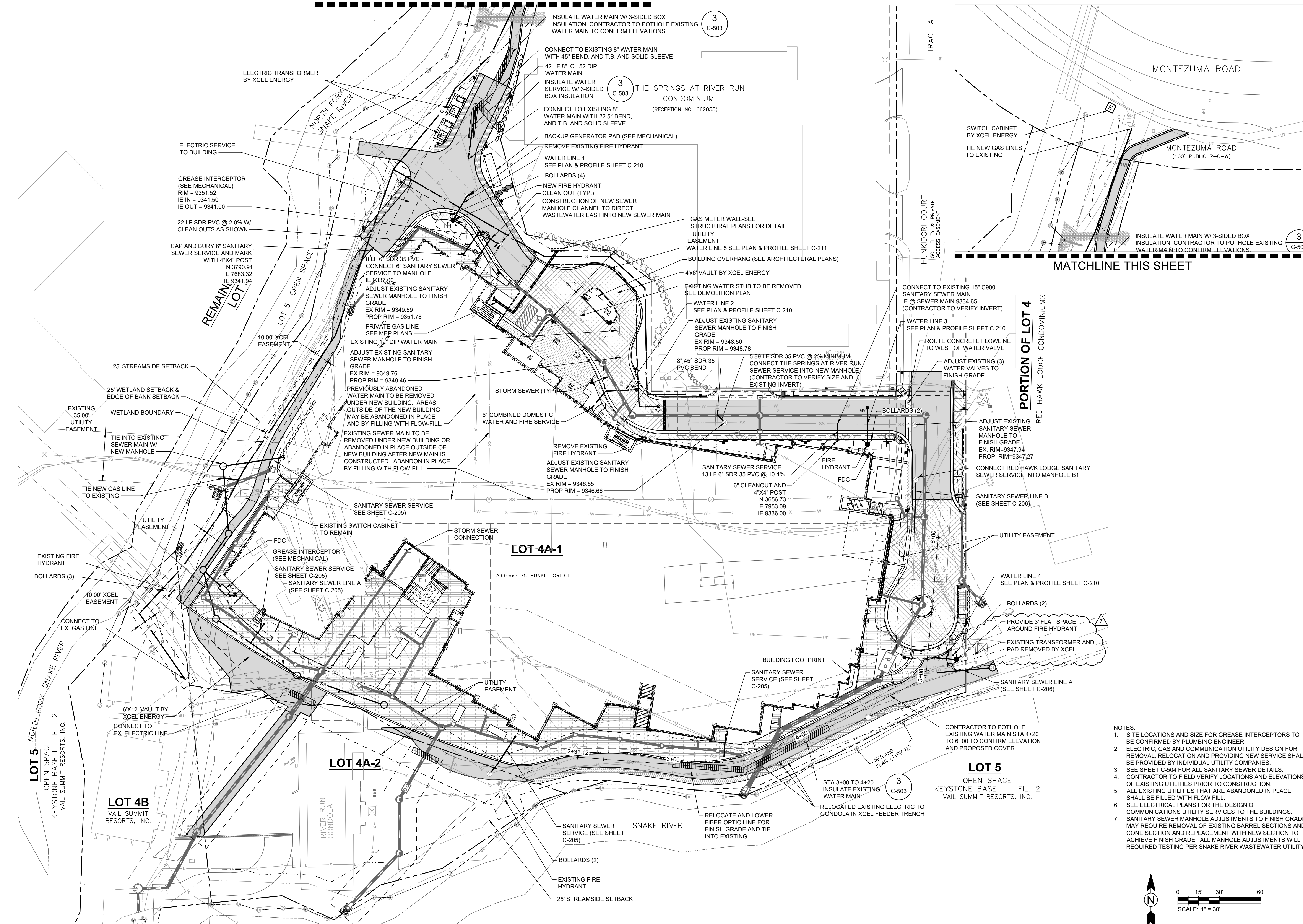
ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL
SHEET TITLE:
DETAILED GRADING
AND DRAINAGE PLAN

SCALE: 1" = 20'
SHEET NUMBER

C-108

7/16/2024 10:04:42 AM - O:\PROJECTS\BRECKENRIDGE\23526\2001\CAD\SHEETFILES\C106 COMPOSITE UTILITY PLAN.DWG - SCANLAN, KEATON

MATCHLINE THIS SHEET



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PROJ. NO. 23526-20001
DRAWN: KGS
CHECKED: CDD
APPROVED: CDD
DATE: 2021-12-17
07/16/24 - TRANSFORMER REMOVAL

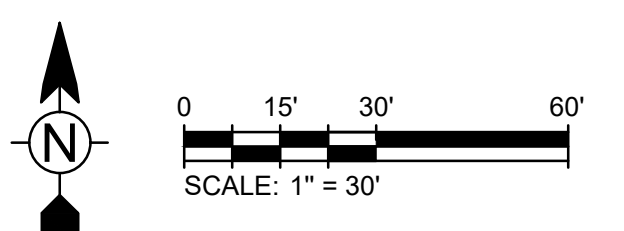
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ONE RIVER RUN
ISSUED FOR:
GMP/BUILDING PERMIT
RESUBMITTAL
SHEET TITLE:
COMPOSITE UTILITY PLAN

SCALE: 1" = 30'
SHEET NUMBER

C-109

- NOTES:
- SITE LOCATIONS AND SIZE FOR GREASE INTERCEPTORS TO BE CONFIRMED BY PLUMBING ENGINEER.
 - ELECTRIC, GAS AND COMMUNICATION UTILITY DESIGN FOR REMOVAL, RELOCATION AND PROVIDING NEW SERVICE SHALL BE PROVIDED BY INDIVIDUAL UTILITY COMPANIES.
 - SEE SHEET C-504 FOR ALL SANITARY SEWER DETAILS.
 - CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE FILLED WITH FLOW FILL.
 - SEE ELECTRICAL PLANS FOR THE DESIGN OF COMMUNICATIONS UTILITY SERVICES TO THE BUILDINGS.
 - SANITARY SEWER MANHOLE ADJUSTMENTS TO FINISH GRADE MAY REQUIRE REMOVAL OF EXISTING BARREL SECTIONS AND CONE SECTION AND REPLACEMENT WITH NEW SECTION TO ACHIEVE FINISH GRADE. ALL MANHOLE ADJUSTMENTS WILL REQUIRE TESTING PER SNAKE RIVER WASTEWATER UTILITY.



Tim Ross

From: Scanlan, Keaton <Keaton.Scanlan@tetrattech.com>
Sent: Wednesday, July 17, 2024 2:02 PM
To: Tim Ross
Cc: Ruth Dejene
Subject: RE: TOK24-003 - Referral and Review Letter
Attachments: ASI-22 Transformer Removed_2024-07-17.pdf

CAUTION: Email from outside OZ Architecture.

Tim,

Please find attached the **updated sheets removing the 42" vertical curb behind the fire hydrant** since the transformer is no longer there. **This should address Snake River WD concern in their comment.**

Thanks,

Keaton Scanlan, PE* | Civil Engineer
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From: Scanlan, Keaton <keaton.scanlan@tetrattech.com>
Sent: Monday, July 8, 2024 3:53 PM
To: Tim Ross <tross@ozarch.com>
Cc: Ruth Dejene <rdejene@ozarch.com>
Subject: RE: TOK24-003 - Referral and Review Letter

Tim,

The 42" vertical curb is no longer required here since the transformer was removed and they can slope back at 3:1 from the 3' "flat" around the hydrant. I assume well need to reissue this plan sheet again no longer showing that. Thoughts?

Keaton Scanlan, PE* | Civil Engineer
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*Licensed as a Professional Engineer in the State of Colorado & Montana

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From: Tim Ross <tross@ozarch.com>
Sent: Wednesday, July 3, 2024 3:24 PM
To: Scanlan, Keaton <keaton.scanlan@tetrattech.com>
Cc: Ruth Dejene <rdejene@ozarch.com>
Subject: FW: TOK24-003 - Referral and Review Letter

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. **⚠**

Hi Keaton,

See attached letter from ToK regarding SPA-03. There is **one (1) comment to address from Snake River WD** per below. Please review and advise how to respond, and if any revisions or clarifications are needed. Once that comment is addressed, it appears that SPA-03 can be approved by ToK. Also, FYI, I met with SCBD yesterday and Glen mentioned that he had reviewed SPA-03 and he too is ready to approve, once he get's the 'OK' from Lindsay and Mark Mathews.

Have a great holiday weekend. Talk to you on Monday.

Thanks,

Tim Ross

OZ Architecture | Senior Project Architect
Phone: 303-861-5704 | Mobile: 303-653-8975
tross@ozarch.com | ozarch.com

From: Lindsay Hirsh <lhirsh@keystoneco.gov>
Sent: Wednesday, July 3, 2024 11:58 AM
To: Tim Ross <tross@ozarch.com>
Subject: TOK24-003 - Referral and Review Letter

CAUTION: Email from outside OZ Architecture.

Hi Tim:

Please see attached Referral and Review letter. Nothing earth shattering, but please address the concerns from the Snake River Water Districts Engineers. Have a great 4th. Talk soon.



LINDSAY HIRSH

Community Development
Director

-  970 - 450 - 3500 x2
-  LHirsh@keystoneco.gov
-  1628 Sts John Rd, Keystone,
CO 80435