

THE PINES AT KEYSTONE

21650 US HWY 6 - KEYSTONE, COLORADO 80435

VICTOR MARK DONALDSON

ARCHITECTURE
PLANNING
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SINCE 1977

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BUILDING 2177 & 2178
RE-SKIN
The PINES at KEYSTONE
21610 US HIGHWAY 6
KEYSTONE, COLORADO 80435

MATERIAL SYMBOLS

| | | | |
|--|------------------------------------|--|---------------------------------|
| | EARTH | | SHEATHING (PLYWOOD/OSB) |
| | GRAVEL / DRAINAGE | | WOOD-FINISH |
| | CONCRETE | | WOOD-ROUGH |
| | STUCCO / EIFS or GYPSUM WALL BOARD | | WOOD-BLOCKING |
| | BATT INSULATION | | ROOF SHINGLES (SHAKE / ASPHALT) |
| | RIGID INSULATION | | ROOF TILES (CERAMIC / SLATE) |
| | MASONRY | | STONE VENEER (DRY STACK) |
| | STEEL / METAL | | STONE VENEER (GROUTED) |
| | METAL DECKING | | HEAVY TIMBER |
| | METAL STUDS | | ENGINEERED WOOD |
| | | | GLAZING / MIRROR |

DRAWING SYMBOLS

| | |
|--|-----------------------------|
| | SECTION CUT SYMBOL |
| | ELEVATION REFERENCE |
| | ELEVATION SYMBOLS |
| | REVISION SYMBOL |
| | DETAIL OR PLAN ENLARGEMENT |
| | WINDOW REFERENCE |
| | WINDOW / DOOR SIZE (FT. IN) |
| | DOOR REFERENCE |
| | WALL TYPE REFERENCE |
| | ROOF PITCH SYMBOL |
| | WELD SYMBOL |
| | DRAINAGE FLOW DESIGNATION |
| | KEYNOTE |

ABBREVIATIONS

| | | |
|--|---|---|
| ABV ABOVE FINISHED FLOOR | LB LIGHT | POND POUND |
| AFG ABOVE FINISHED GRADE | LTL LINTEL | REFT REFELECT |
| AP ACCESS PANEL | LVR LOUVER | REFR REFRIGERATOR |
| ACT ACoustical CEILING TILE | MH MANHOLE | REIN REINFORCING |
| ADJ ADJACENT | MFR MANUFACTURER | REQD REQUIRED |
| AL ALTERNATE | MO MASONRY OPENING | RES RESILIENT |
| ALU ALUMINUM | MAT MATERIAL | REV REVISION |
| APPROX APPROXIMATELY | MAX MAXIMUM | RH RIGHT HAND |
| ADA AMERICAN DISABILITY ACT | MECH MECHANICAL | R RISER |
| A/C AIR CONDITIONING | MG MEDICINE CABINET | R45 ROOF AND SHELF |
| ARCH ARCHITECTURAL | MB MEMBRANE | RD ROOF DRAIN |
| BSMT BASEMENT | MTL METAL | RFG ROOFING |
| BRG BEARING | M METR | RM ROOM |
| BFG BELOW FINISHED GRADE | MICRONAVE MILLIMETER | RO ROUGH OPENING |
| BEAM BEAM | M MPH MILES PER HOUR | RS ROUGH SAWN |
| BVL BEVELED | MIN MINIMUM | SS SANITARY SEWER |
| BIT BITUMINOUS | MIR MIRROR | SE SEALANT |
| BLK BLOCK | MISC MISCELLANEOUS | S SHEET |
| BLDG BLOCKING | MR MOISTURE RESISTANT | SHT SHEATHING |
| BO BOARD | MULL MULLION | SHTS SHEET METAL |
| BOT BOTTOM OF | NAT NATURAL | SIM SIMILAR |
| BOTM BOTTOM BUILDING | NR NOISE REDUCTION | SFM SINGLE PLY MEMBRANE |
| CARPET CARPET | NOM NOMINAL | SC SOLID CORE |
| CASHEM CASEMENT | N NORTH | S SPECIFICATIONS |
| CAST IN PLACE CAST IN PLACE | NTS NOT IN CONTRACT | SO FT. SQUARE FEET |
| CLG CEILING | NS NOT TO SCALE | S.STL STAINLESS STEEL |
| CTR CENTER | OC ON CENTER | STD STANDARD |
| CT CERAMIC TILE | OPG OPENING | ST SELF-TAPPING STEEL |
| CLR CLEARANCE | OPP OPPOSITE | STL STORM DRAIN / SMOKE DETECTOR |
| COL COLUMN | OSB ORIENTED STRAND BOARD | STR STRINGER |
| CONC CONCRETE | OD OUTSIDE DIAMETER | SW SWITCH |
| CMU CONCRETE MASONRY UNIT | OH OVERHEAD | SYM SYMMETRICAL |
| C CONDUIT | OA OVERALL | TEL TELEPHONE |
| CONST CONSTRUCTION | PAINT PAINT | TEL TV TELEVISION |
| CONT CONTINUOUS | PAR PARKING | THK THICKNESS |
| CJT CONTROL JOINT | PAVT PAVEMENT | THR THRESHOLD |
| COPPER COPPER | PEDESTAL PEDESTAL | TBD TO BE DETERMINED |
| CUST CUSTOM | PLUM PLUMBER | T&G TONGUE AND GROOVE |
| DEPT DEPARTMENT | PLM PLUMBING | TOS TOP OF SLAB |
| D DEPTH | PLY PLYWOOD | TSL TOP OF STEEL |
| DTL DETAIL | PT PRESURE TREATED | TB TOWEL BAR |
| DIM DIMENSION | PSF POUNDS PER SQUARE FOOT | TR TRIM |
| DW DISH WASHER | PSI POUNDS PER SQUARE INCH | T TREAD |
| DR DOOR | PRE-CAST PRE-CAST | TS TUBE STEEL |
| DWG DRAWING | PROP PROPERTY | TYP TYPICAL |
| DF DRINKING FOUNTAIN | QT QUARTY TILE | UG UNDERGROUND |
| E EAST | RCPT RECEPTACLE | UL UNDERWRITERS LABORATORIES |
| ELEC ELECTRICAL | REF REFERENCE | UNO UNLESS NOTED OTHERWISE |
| ELEV ELEVATIONS | REFR REFRIGERATOR | VB VAPOR BARRIER |
| EL ELEVATOR | REIN REINFORCING | VER VERTICALLY IN FIELD |
| EMER EMERGENCY | REQD REQUIRED | VERSALAM VERSALAM |
| EQ EQUAL | RES RESILIENT | VERT VERTICAL |
| EQUIV EQUIVALENT | REV REVISION | VCT VINYL COMPOSITION TILE |
| EXM EXISTING | RH RIGHT HAND | VOLTS VOLTS |
| EXS EXISTING | R RISER | WASHER / DRYER WASHER / DRYER |
| EXP EXPANSION | R45 ROOF AND SHELF | WC WATER CLOSET |
| EXT EXTERIOR | RD ROOF DRAIN | WH WATER HEATER |
| FCC FACE OF CONCRETE | RFG ROOFING | WFF WELDED WIRE FABRIC |
| FOF FACE OF FINISH | RM ROOM | WID WIDEN / WREST |
| FOM FACE OF MASONRY | RO ROUGH OPENING | WF WIDE FLANGE |
| FOS FACE OF STUDS | RS ROUGH SAWN | WDM WINDOW |
| FIN FL FINISH FLOOR ELEVATION | SS SANITARY SEWER | W/ WITH |
| FE FIRE EXTINGUISHER | SE SEALANT | WO WITHOUT |
| FDC FIRE DEPARTMENT CONNECTION | S SHEET | WOOD WOOD |
| FHC FIRE HOSE CONNECTION | SHT SHEATHING | WATERPROOF / WEATHERPROOF WATERPROOF / WEATHERPROOF |
| FEC FIRE EXTINGUISHER CABINET | SHTS SHEET METAL | |
| FFL FIRE FLANGE | SIM SIMILAR | |
| FP FIREPROOFING | SFM SINGLE PLY MEMBRANE | |
| FLG FLASHING | SC SOLID CORE | |
| FLR FLOOR | S SPECIFICATIONS | |
| FD FLOOR DRAIN | SO FT. SQUARE FEET | |
| FTG FOOTING | S.STL STAINLESS STEEL | |
| FND FOUNDATION | STD STANDARD | |
| FBO FURNISHED BY OTHERS | ST SELF-TAPPING STEEL | |
| FUR FURRING | STL STORM DRAIN / SMOKE DETECTOR | |
| GA GAGE, GAUGE | STR STRINGER | |
| GALV GALVANIZED | STRUC STRUCTURAL | |
| GD GARAGE DISPOSAL | SW SWITCH | |
| GC GENERAL CONTRACTOR | SYM SYMMETRICAL | |
| GLAM GULAM LAMINATED BEAM | TEL TELEPHONE | |
| GL GLASS, GLAZING | TEL TV TELEVISION | |
| GB GRAB BAR | THK THICKNESS | |
| GND GROUND | THR THRESHOLD | |
| GWB GYPSUM WALL BOARD | TBD TO BE DETERMINED | |
| HBR HANGER | T&G TONGUE AND GROOVE | |
| HDR HARDWARE | TOS TOP OF SLAB | |
| HDX HEADER | TSL TOP OF STEEL | |
| HTG HEATING | TB TOWEL BAR | |
| HVAC HEATING/VENTILATING/ AIR CONDITIONING | TR TRIM | |
| HT HOLLOW CORE | T TREAD | |
| HM HOLLOW METAL | TS TUBE STEEL | |
| HORIZ HORIZONTAL | TYP TYPICAL | |
| INCL INCLINED | UG UNDERGROUND | |
| ID INSIDE DIAMETER | UL UNDERWRITERS LABORATORIES | |
| IBC INSTALLED BY CONTRACTOR | UNO UNLESS NOTED OTHERWISE | |
| IBO INSTALLED BY OWNER | VB VAPOR BARRIER | |
| INS INSULATED | VER VERTICALLY IN FIELD | |
| INT INTERIOR | VERSALAM VERSALAM | |
| JT JOINT | VERT VERTICAL | |
| JWC JANITOR'S CLOSET | VCT VINYL COMPOSITION TILE | |
| KIT KITCHEN | VOLTS VOLTS | |
| LAM LAMINATE | WASHER / DRYER WASHER / DRYER | |
| LVL LAMINATED VENEER LUMBER | WC WATER CLOSET | |
| LAV LAVATORY | WH WATER HEATER | |
| LH LEFT HAND | WFF WELDED WIRE FABRIC | |
| L LENGTH / STEEL ANGLE | WID WIDEN / WREST | |
| | WF WIDE FLANGE | |
| | WDM WINDOW | |
| | W/ WITH | |
| | WO WITHOUT | |
| | WOOD WOOD | |
| | WATERPROOF / WEATHERPROOF WATERPROOF / WEATHERPROOF | |

GENERAL NOTES

- 00-A. IT IS A CONDITION OF THESE DOCUMENTS THAT THE GENERAL CONTRACTOR COORDINATE & INTEGRATE INTO THE FINAL PROJECT ALL ADDITIONAL DOCUMENTS WITH THESE ARCHITECTURAL DOCUMENTS FOR A COMPLETE SATISFACTORY & CODE COMPLIANT BUILDING. CONTRACTOR SHALL PROVIDE A BUDGET & SCHEDULE AS WELL AS POSSESS AN ENDORSED AGREEMENT FOR CONSTRUCTION SERVICES WITH OWNER PRIOR TO MOBILIZATION AND/OR COMMENCEMENT OF WORK.
01. DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS, FIELD CONDITIONS & UTILITY LOCATIONS ON SITE PRIOR TO SUBMITTAL OF BID PROPOSALS, ORDERING MATERIALS OR ENGAGING INTO CONTRACTS/ SUBCONTRACTS.
02. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS OR NEED FOR ADDITIONAL INFORMATION IMMEDIATELY UPON DETERMINING EXISTING FIELD CONDITIONS & VERIFYING NATURE OF CONFLICT OR DISCREPANCY.
03. AREAS OF CONFLICT OR DISCREPANCY MUST BE FULLY RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT OR OWNER BEFORE CONSTRUCTION CONTINUES IN ANY AFFECTED AREA OF WORK.
04. PLAN DIMENSIONS ARE TO FACE-OF-FRAMING OR FACE-OF-CONCRETE UNLESS NOTED OTHERWISE. GROSS-SECTION & VERTICAL ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS, UNLESS NOTED OTHERWISE.
05. PROVIDE ALL NECESSARY BLOCKING IN WALL, FLOOR & CEILING CAVITIES FOR MISCELLANEOUS INSTALLATIONS NECESSARY FOR SUPPORT, BLOCKING OR MANUFACTURER/INSTALLATION INSTRUCTION WHETHER SHOWN ON THESE DOCUMENTS OR PROVIDED WITH SEPARATE DOCUMENTATION BY OTHERS.
06. IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY ARCHITECT. FAILURE TO GIVE AMPLE NOTICE SHALL RELIEVE THE ARCHITECT/OWNER/TENANT OF RESPONSIBILITY FOR DELAYS TO THE PROJECT OR ADDITIONAL COSTS.
07. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES & OBTAINING ALL PERMITS & REQUIRED APPROVALS. CODE COMPLIANCE IS MANDATORY. THESE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK NOT CONFORMING TO RELEVANT CODES GOVERNING THIS PROJECT.
08. GENERAL CONTRACTOR & SUBCONTRACTORS SHALL FIELD COORDINATE & OBTAIN APPROVAL FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY, IN ANY WAY, AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
09. ALL NEW & REMODEL (WHETHER ENGINEERED OR DESIGN-BUILD) ELECTRICAL, PLUMBING & FIRE PROTECTION WORK SHALL BE COMPLETED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ALL REQUIREMENTS OF ALL CURRENT CODE & REGULATORY REQUIREMENTS ADOPTED BY THE GOVERNING MUNICIPALITY & OTHER AGENCIES HAVING JURISDICTION, INCLUDING ALL AMENDMENTS THERETO.
10. SUBSTITUTIONS OF "EQUAL" OR "EQUIVALENT" PRODUCTS MAY BE ACCEPTABLE WITH OWNER OR ARCHITECT WRITTEN APPROVAL. IN ADVANCE, THE CONTRACTOR SHALL SUBMIT DETAILS (IF NEEDED), ALL PRODUCT DATA, SPECIFICATIONS, FEATURES, OPTIONS, FINISHES, ETC. IN ORDER TO DETERMINE ACCEPTABILITY.
11. IT IS A REQUIREMENT OF THESE DOCUMENTS THAT THE CONTRACTOR & HIS SUBCONTRACTORS, VENDORS & WORKMEN PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO PROVIDE A COMPLETE PROJECT WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
12. GENERAL CONTRACTOR & ALL TRADESPEOPLE SHALL REFER TO ALL ARCHITECTURAL / INTERIOR DESIGNERS, STRUCTURAL, ELECTRICAL, PLUMBING & ANY/ALL OTHER SPECIALTY CONSULTANT/ENGINEER DRAWINGS ATTACHED TO THESE PLANS IN ORDER TO FULLY DETERMINE THE SPECIFICATIONS FOR ALL MATERIALS USED ON THIS PROJECT. IF THERE ARE ANY CONFLICTS OR OMISSION IN THE PLANS OR SPECIFICATIONS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT AND/OR THE OWNER TO RESOLVE THE ISSUE.
13. AS A PART OF PROJECT CLOSE-OUT, THE CONTRACTOR SHALL FURNISH TO THE OWNER ALL WRITTEN & GRAPHIC MATERIALS FOR ANY & ALL EQUIPMENT, APPLIANCES, HARDWARE & SYSTEMS INCLUDING WARRANTIES, INSTRUCTION MANUALS, INSTALLERS, MANUFACTURERS NAME & ADDRESS, ALL EQUIPMENT, SYSTEMS, FIXTURES & APPLIANCES INSTALLED SHALL HAVE A MINIMUM OF A ONE (1) YEAR WARRANTY THE CONTRACTOR FURTHER WARRANTS AGAINST FAILURE OF ALL VARIOUS SYSTEMS INSTALLED, CONSTRUCTED OR CAUSED TO BE INSTALLED FOR THE PERIOD OF ONE (1) YEAR AFTER DATE OF FULL OWNER ACCEPTANCE. SEE ATTACHED PROJECT MANUAL & CONSTRUCTION SPECIFICATIONS, IF APPLICABLE, FOR MORE DETAILS.
14. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED ELECTRONICALLY (OWNER+ARCHITECT+CONTRACTOR) BY CONTRACTOR WHO SHALL MAINTAIN AND DISTRIBUTE UPDATES OF A LOG OF ALL RFIS. THREE CALENDAR DAYS MAY BE NEEDED TO REVIEW RFIS ONCE WRITTEN RFIS ARE RECEIVED.
15. CONTRACTOR SHALL PROVIDE SUBMITTALS ELECTRONIC (OWNER+ARCHITECT+CONTRACTOR) TO OWNER/ARCHITECT AS PRESCRIBED HEREIN. CONTRACTOR SHALL PROVIDE, PRIOR TO COMMENCEMENT OF CONSTRUCTION, A PROPOSED SUBMITTAL LOG WITH ALL DATES NOTED. ARCHITECT SHALL REVIEW & REPLY TO EACH SUBMITTAL WITHIN 7 CALENDAR DAYS OF RECEIPT OF EACH SUBMITTAL. IF THE ARCHITECT REQUESTS ANY SUBMITTAL FOR ANY NON-COMFORMANCE, ADDITIONAL TIME MAY BE REQUIRED FOR REVIEW. ALTERNATELY IF ALL THE ITEMS SPECIFIED MATERIALS LISTED HEREIN ARE BEING USED, CONTRACTOR MAY PROVIDE A MATERIALS LIST AND PURCHASE LIST DEMONSTRATING THAT ALL THE SPECIFIED MATERIALS ARE BEING USED IN LIEU OF SUBMITTALS.
16. ALL STRUCTURAL, FURRING AND FRAMING MATERIALS SHALL BE INSTALLED & PROTECTED TO ASSURE A WEATHER-RESISTANT EXTERIOR ENVELOPE ASSEMBLY.
17. THESE DOCUMENTS AND THE CONTRACT FOR CONSTRUCTION ARE ALL COMPLEMENTARY AND REQUIREMENTS OF THE CONTRACT.
18. CONTRACTOR WILL PROVIDE ELECTRONIC SUBMITTALS FOR THE FOLLOWING ITEMS:
 - A. WESTERN RIB WALL PANEL & PHYSICAL COLOR SAMPLE
 - B. HZS HARDIE PLANK SELECT & PHYSICAL COLOR SAMPLE
 - C. METAL & FLEXIBLE FLASHING & PHYSICAL COLOR SAMPLE
 - D. HARDIE TRIM 3/8" RUSTIC GRAIN, WINDOW, FRIZEE BAND, INSIDE & OUTSIDE CORNER
 - E. PELLA WINDOWS & DOORS
 - F. WESTERN STATES T-GROOVE PANEL & PHYSICAL COLOR SAMPLE

DRAWING INDEX:

| | |
|-------|--|
| T1.0 | TITLE SHEET |
| AS1.0 | SITE PLAN |
| AO.1 | EXISTING/DEMO 1ST FLOOR PLAN |
| AO.2 | EXISTING/DEMO 2ND FLOOR PLAN |
| AO.4 | EXISTING/DEMO NORTH & EAST ELEVATIONS |
| AO.5 | EXISTING/DEMO SOUTH & WEST ELEVATIONS |
| A1.1 | PROPOSED 1ST FLOOR PLAN |
| A1.2 | PROPOSED 2ND FLOOR PLAN |
| A2.1 | PROPOSED NORTH & EAST ELEVATIONS |
| A2.2 | PROPOSED SOUTH & WEST ELEVATIONS |
| A6.1 | DETAILS |
| AT.1 | WINDOW DETAILS |
| AT.2 | DETAILS FOR WINDOWS NOT BEING REPLACED |

BUILDING 10 (2177-2178) PHOTO JOURNAL

BUILDING 10 PRODUCT INFORMATION & SPECS

GENERAL DEMOLITION NOTES:

- THE FOLLOWING IS PROVIDED TO ASSIST WITH COORDINATION WITH BUILDING DEPARTMENT AND TO COMPLY WITH STANDARD OF CARE AND INSURANCES IN PLACE FOR ALL DEMOLITION WORK. SEE SHEETS A8.0 FOR COMPLETE DEMOLITION NOTES.
1. A SCHEDULE FOR DEMOLITION AS REQUIRED BY INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED BY CONTRACTOR WITH A COPY TO OWNER & ARCHITECT. NO DEMOLITION WORK SHALL BE COMMENCED UNTIL WRITTEN APPROVAL IS RECEIVED BY BUILDING OFFICIAL.
 2. CONFIRM ALL REQUIREMENTS WITH BUILDING OFFICIAL FOR PEDESTRIAN PROTECTION PER IBC SECTION 5306 & TABLE 5306.1.
 3. MAINTAIN EXISTING MEANS OF EGRESS WITHIN AND AROUND BUILDINGS AS REQUIRED.
 4. WHERE REQUIRED FOR DEMOLITION OR OTHER PROJECT REQUIREMENTS, SERVICE UTILITIES, FIRE PROTECTION & POWER SHALL BE DISCONNECTED AND GAPPED IN STRICT ACCORDANCE WITH THE APPROVED REGULATIONS AND REQUIREMENTS OF UTILITY DISTRICTS AND ALL PERTINENT CODES. THIS SHOULD NOT INCLUDE SERVICES WITHIN INDIVIDUAL UNITS.
 5. PROTECT ALL WALL RATINGS & FLOOR/CEILING ASSEMBLIES TO THEIR FULL INTEGRITY. ADVISE THE ARCHITECT OF ANY CONCEALED BREACHES DISCOVERED IN THE PROCESS OF DEMOLITION SO AS TO ACCOMMODATE RESTORATION AND COSTS.
 6. PROTECT ALL MECHANICAL DUCTS FROM DUST, DEBRIS OR FOREIGN MATERIALS THAT COULD IMPEDE CURRENT OR FUTURE CLEAN AIR OR DISRUPT ADJACENT OPERATIONS.
 7. CONTROL & KEEP ALL COMMON AREAS, OUTDOOR AREAS & PUBLIC AREAS FREE OF ALL DUST, DEBRIS, & MATERIALS FOR THE DURATION OF DEMOLITION & NEW CONSTRUCTION. PROPER TRASH REMOVAL SHALL BE COORDINATED IN ADVANCE WITH PROPERTY MANAGER.

BUILDING CODE

| | |
|---------------------|--------------------------|
| BLDG CODE EDITION: | 2018 IBC (SUMMIT COUNTY) |
| ZONING DESIGNATION: | MULTI-FAMILY |
| OCCUPANCY GROUP: | R2 RESIDENTIAL |
| CONSTRUCTION TYPE: | V-B |
| NO. OF STORIES: | 2 |
| NON-SPRINKLERED: | |

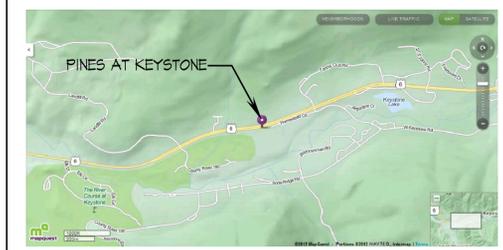
OWNER / AGENT:

LEAH CHRISTOFANELLI, PROPERTY MANAGER
KEYSTONE PROPERTY MANAGEMENT
PO BOX 38, K19, KEYSTONE, CO 80435
PHONE: 970.496.4819
EMAIL: leah.christofanelli@valresorts.com

ARCHITECT:

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E-MAIL: CHRISJ@VMDA.COM

PROJECT LOCATION MAP:



PROJECT DESCRIPTION:

RE-SKIN OF BUILDING 10 AND REPLACEMENT OF EXISTING WINDOWS.

BUILDING PERMIT

| | | | |
|--|------|---------|----------|
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| REVISION | | DATE | 07/03/24 |
| | | JOB NO. | 2314 |
| TITLE SHEET | | | |
| SHEET NO. | T1.0 | | |

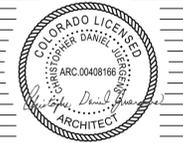
LAND SURVEY PLAT
THE PINES CONDOMINIUMS
 SUPPLEMENTS NO. 1, NO. 3, NO. 4, NO. 5
 SUMMIT COUNTY, COLORADO

VICTOR MARK DONALDSON



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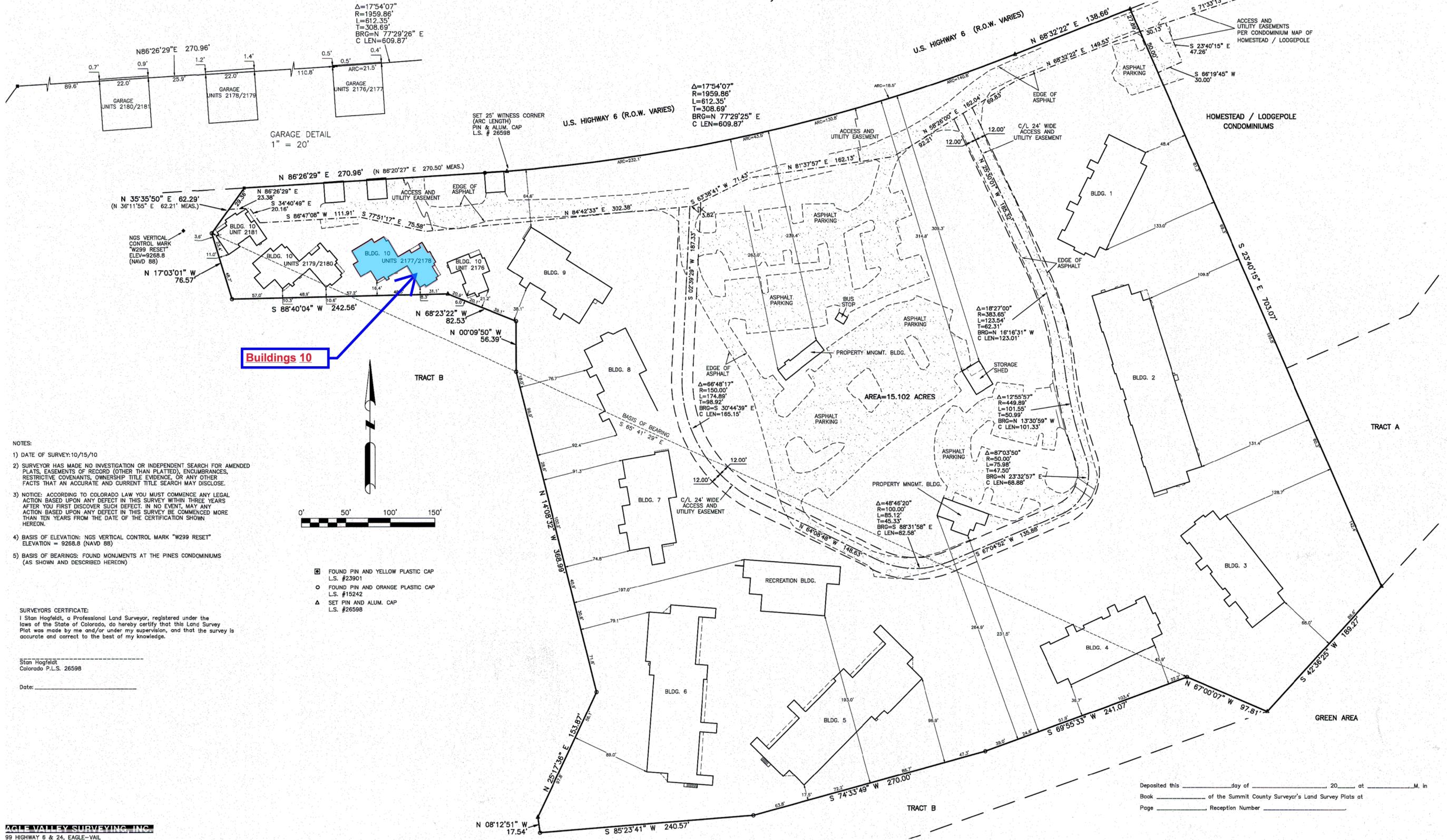
The PINES at KEYSTONE
 RE - SKIN
 BUILDING 2177 & 2178
 21610 US HIGHWAY 6
 KEYSTONE, COLORADO 80435

BUILDING PERMIT

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| | |
|----------|----------|
| REVISION | |
| DATE | 07/03/24 |
| JOB NO. | 2314 |

SITE PLAN
 SHEET NO. **AS1.0**



- NOTES:
- DATE OF SURVEY: 10/15/10
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - BASIS OF ELEVATION: NGS VERTICAL CONTROL MARK "W299 RESET" ELEVATION = 9268.8 (NAVD 88)
 - BASIS OF BEARINGS: FOUND MONUMENTS AT THE PINES CONDOMINIUMS (AS SHOWN AND DESCRIBED HEREON)



SURVEYORS CERTIFICATE:
 I, Stan Hogfeldt, a Professional Land Surveyor, registered under the laws of the State of Colorado, do hereby certify that this Land Survey Plat was made by me and/or under my supervision, and that the survey is accurate and correct to the best of my knowledge.

Stan Hogfeldt
 Colorado P.L.S. 26598

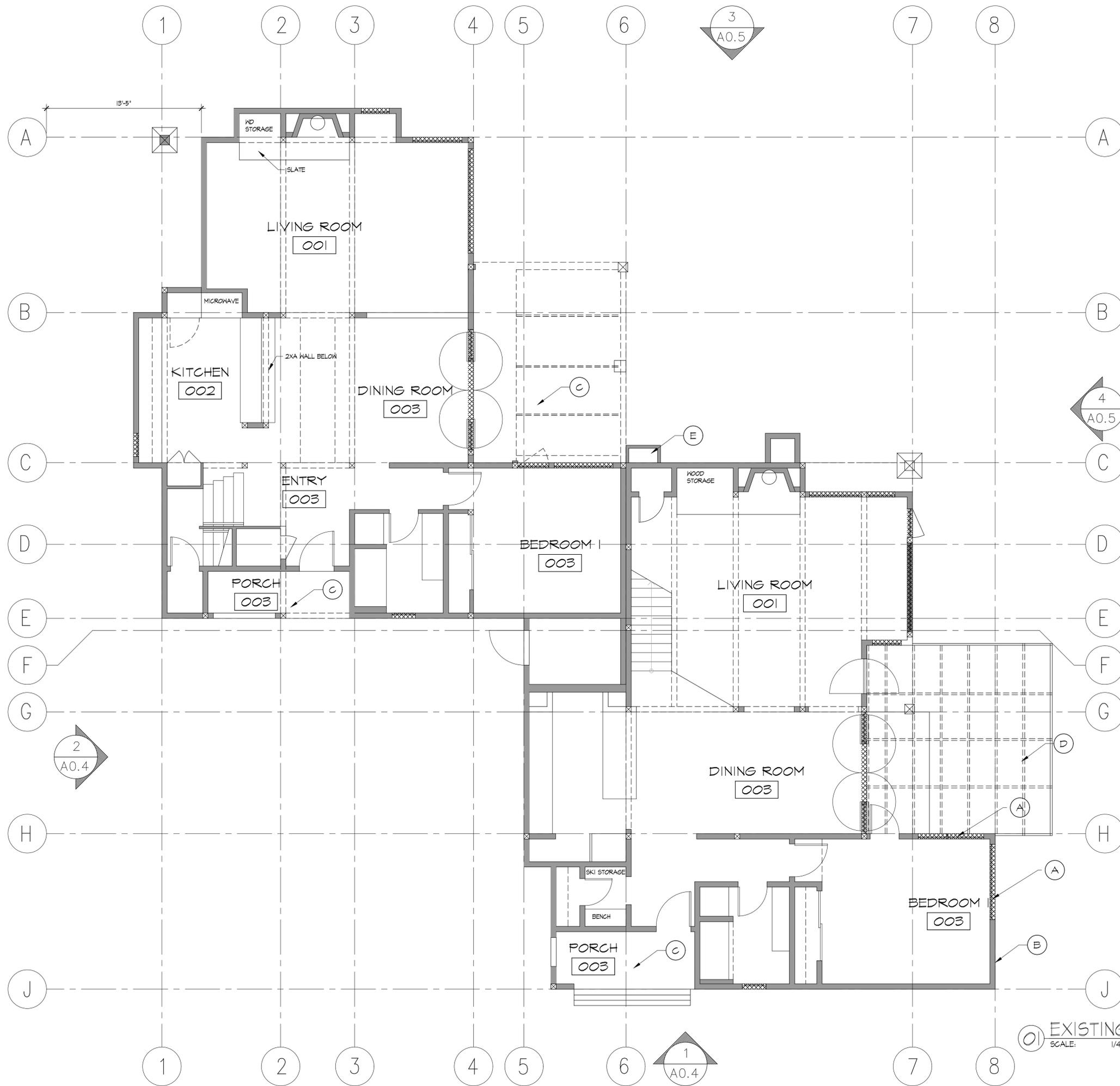
Date: _____

AGLE VALLEY SURVEYING, INC.
 99 HIGHWAY 6 & 24, EAGLE-VALE
 BOX 1230
 VARDIS, CO. 81632
 0949-1406

Deposited this _____ day of _____ 20____ at _____, M. in
 Book _____ of the Summit County Surveyor's Land Survey Plats at
 Page _____, Reception Number _____

| | |
|----------------|---------------|
| 3272.DWG | JOB NO. 3272 |
| DRN. BY MP/DJE | DATE: 11/1/10 |
| | PAGE: 1 OF 1 |

SITE PLAN
 SCALE: RE: BAR GRAPH



GENERAL DEMOLITION NOTES

- THE FOLLOWING NOTES ARE TO ASSIST IN COORDINATION WITH BUILDING OFFICIAL AND TO COMPLY WITH STANDARD OF CARE AND INSURANCES IN PLACE.
1. A SCHEDULE FOR DEMOLITION, IF REQUIRED BY EAGLE COUNTY BUILDING OFFICIAL SHALL BE SUBMITTED BY CONTRACTOR WITH A COPY TO OWNER & ARCHITECT. NO WORK SHALL BE COMMENCED UNTIL WRITTEN APPROVAL IS RECEIVED BY BUILDING OFFICIAL.
 2. MAINTAIN EXISTING MEANS OF EGRESS AS REQUIRED BY BUILDING OFFICIAL.
 3. WHERE REQUIRED FOR DEMOLITION OR OTHER PROJECT REQUIREMENTS, ALL SERVICE UTILITY, FIRE PROTECTION & ANY POWER SHALL BE DISCONNECTED AND GAPPED IN STRICT ACCORDANCE WITH THE APPROVED REGULATIONS AND REQUIREMENTS OF UTILITY DISTRICTS AND ALL PERTINENT CODES.
 4. PROTECT ALL SURROUNDING WALL SEPARATION RATINGS & FLOOR/CEILING ASSEMBLIES TO THEIR FULL INTEGRITY. ADVISE OWNER OF ANY CONCEALED BREACHES DISCOVERED IN THE PROCESS OF DEMOLITION SO AS TO ACCOMMODATE COSTS THEREFORE.
 5. PROTECT ALL MECHANICAL DUCTS (RETURN & SUPPLY-TENANT & BUILDING) FROM DUST, DEBRIS OR FOREIGN MATERIALS THAT COULD IMPEDE CURRENT OR FUTURE CLEAN AIR OR DISRUPT ADJACENT OPERATIONS.
 6. CONTROL & KEEP ALL COMMON AREAS, OUTDOOR AREAS & FUELG AREAS FREE OF ALL DEBRIS, & MATERIALS FOR THE DURATION OF DEMOLITION & NEW CONSTRUCTION, EXCEPT IN AREAS DESIGNATED BY OWNER.
 7. PROPER TRASH REMOVAL SHALL BE COORDINATED WITH PROPERTY OWNER.
 8. MANAGE SALVAGE OF ALL MATERIALS FROM BUILDING INVENTORY; CONSTRUCTION COMPONENTS FOR REUSE, AS NOTED IN THESE DOCUMENTS.
 9. ALL CRAWLSPACE VENTS TO REMAIN.
 10. REMOVE & REPLACE ALL DRYER AND BATHROOM VENTS, LIKE FOR LIKE

DEMOLITION KEY & NOTES

- A. REMOVE EXISTING WINDOWS & TRIM, PREP FOR NEW
- B. REMOVE SHINGLES & TRIM TO EXISTING SUBSTRATE, PREP FOR NEW, RE: ELEVATIONS.
- C. EXISTING DECKS TO REMAIN
- D. EXISTING GREENHOUSE TO REMAIN
- E. REMOVE DOORS & SIDING FROM ELECTRICAL ENCLOSURE, FRAMING TO REMAIN, PREP FOR NEW

01 EXISTING / DEMO 1ST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

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| SHEET NO. | A0.1 |



GENERAL DEMOLITION NOTES

- THE FOLLOWING NOTES ARE TO ASSIST IN COORDINATION WITH BUILDING OFFICIAL AND TO COMPLY WITH STANDARD OF CARE AND INSURANCES IN PLACE.
1. A SCHEDULE FOR DEMOLITION, IF REQUIRED BY EAGLE COUNTY BUILDING OFFICIAL SHALL BE SUBMITTED BY CONTRACTOR WITH A COPY TO OWNER & ARCHITECT. NO WORK SHALL BE COMMENCED UNTIL WRITTEN APPROVAL IS RECEIVED BY BUILDING OFFICIAL.
 2. MAINTAIN EXISTING MEANS OF EGRESS AS REQUIRED BY BUILDING OFFICIAL.
 3. WHERE REQUIRED FOR DEMOLITION OR OTHER PROJECT REQUIREMENTS, ALL SERVICE UTILITY, FIRE PROTECTION & ANY POWER SHALL BE DISCONNECTED AND CAPPED IN STRICT ACCORDANCE WITH THE APPROVED REGULATIONS AND REQUIREMENTS OF UTILITY DISTRICTS AND ALL PERTINENT CODES.
 4. PROTECT ALL SURROUNDING WALL SEPARATION RATINGS & FLOOR/CEILING ASSEMBLIES TO THEIR FULL INTEGRITY - ADVISE OWNER OF ANY CONCEALED BREACHES DISCOVERED IN THE PROCESS OF DEMOLITION SO AS TO ACCOMMODATE COSTS THEREFORE.
 5. PROTECT ALL MECHANICAL DUCTS (RETURN & SUPPLY-TENANT & BUILDING) FROM DUST, DEBRIS OR FOREIGN MATERIALS THAT COULD IMPEDE CURRENT OR FUTURE CLEAN AIR OR DISRUPT ADJACENT OPERATIONS.
 6. CONTROL & KEEP ALL COMMON AREAS, OUTDOOR AREAS & PUBLIC AREAS FREE OF ALL DEBRIS, & MATERIALS FOR THE DURATION OF DEMOLITION & NEW CONSTRUCTION, EXCEPT IN AREAS DESIGNATED BY OWNER.
 7. PROPER TRASH REMOVAL SHALL BE COORDINATED WITH PROPERTY OWNER.
 8. MANAGE SALVAGE OF ALL MATERIALS FROM BUILDING INVENTORY & CONSTRUCTION COMPONENTS FOR REUSE, AS NOTED IN THESE DOCUMENTS.
 9. ALL CRAWLSPACE VENTS TO REMAIN.
 10. REMOVE & REPLACE ALL DRYER AND BATHROOM VENTS, LIKE FOR LIKE.

DEMOLITION KEY & NOTES

- A. REMOVE EXISTING WINDOWS & TRIM, PREP FOR NEW
- B. REMOVE SHINGLES & TRIM TO EXISTING SUBSTRATE, PREP FOR NEW, RE: ELEVATIONS.
- C. EXISTING DECKS TO REMAIN
- D. EXISTING GREENHOUSE TO REMAIN
- E. REMOVE DOORS & SIDING FROM ELECTRICAL ENCLOSURE, FRAMING TO REMAIN, PREP FOR NEW

01 EXISTING / DEMO 2ND FLOOR PLAN
SCALE: 1/4" = 1' - 0"

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EXISTING / DEMO 2ND FLOOR PLAN

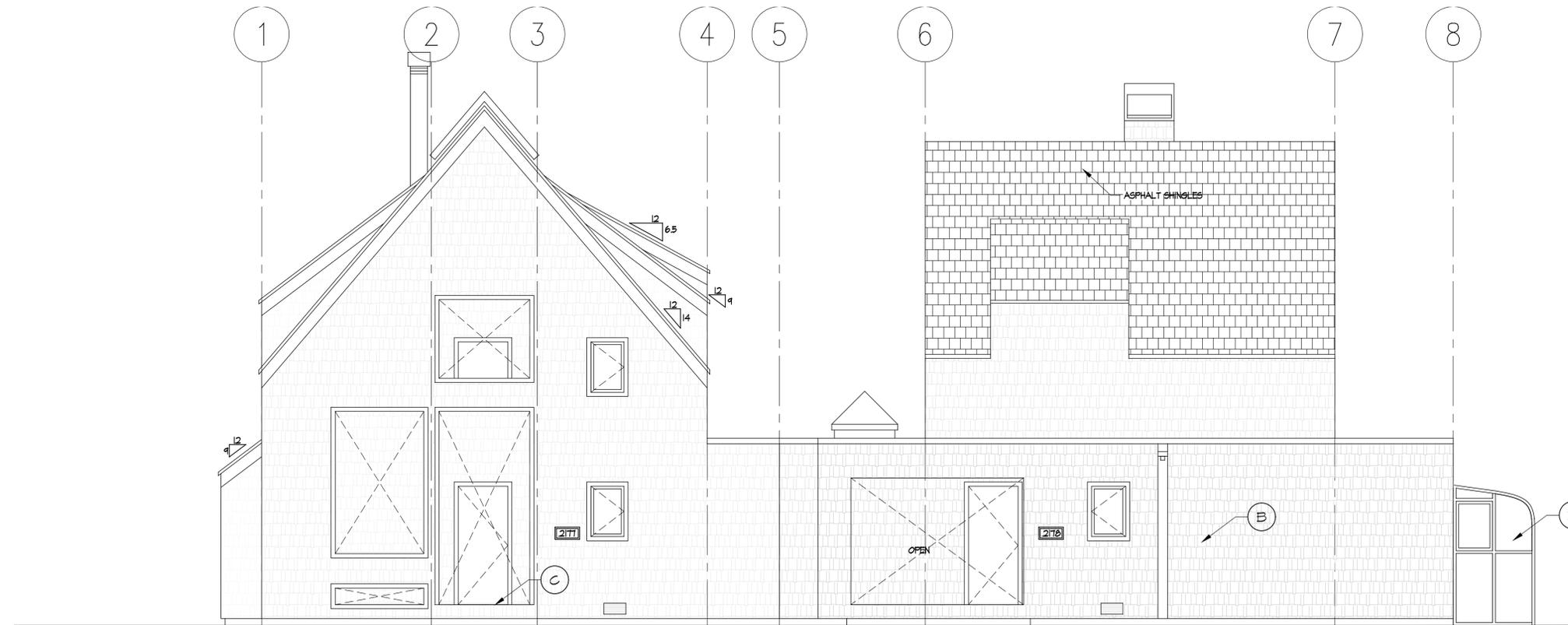
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GENERAL DEMOLITION NOTES

THE FOLLOWING NOTES ARE TO ASSIST IN COORDINATION WITH BUILDING OFFICIAL AND TO COMPLY WITH STANDARD OF CARE AND INSURANCES IN PLACE.

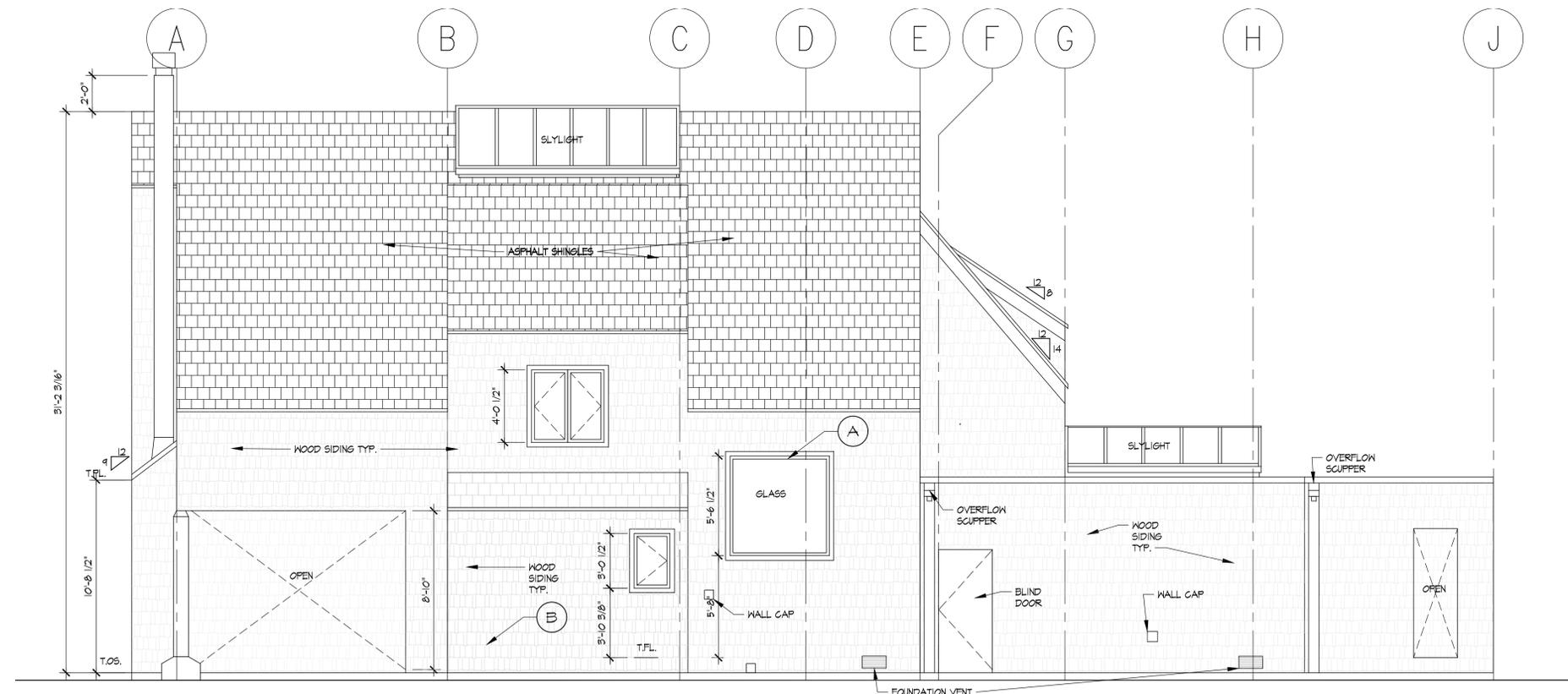
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01 EXISTING/DEMO NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

DEMOLITION KEY & NOTES

- A. REMOVE EXISTING WINDOWS & TRIM, PREP FOR NEW
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- C. EXISTING DECKS TO REMAIN
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02 EXISTING/DEMO EAST ELEVATION
SCALE: 1/4" = 1' - 0"

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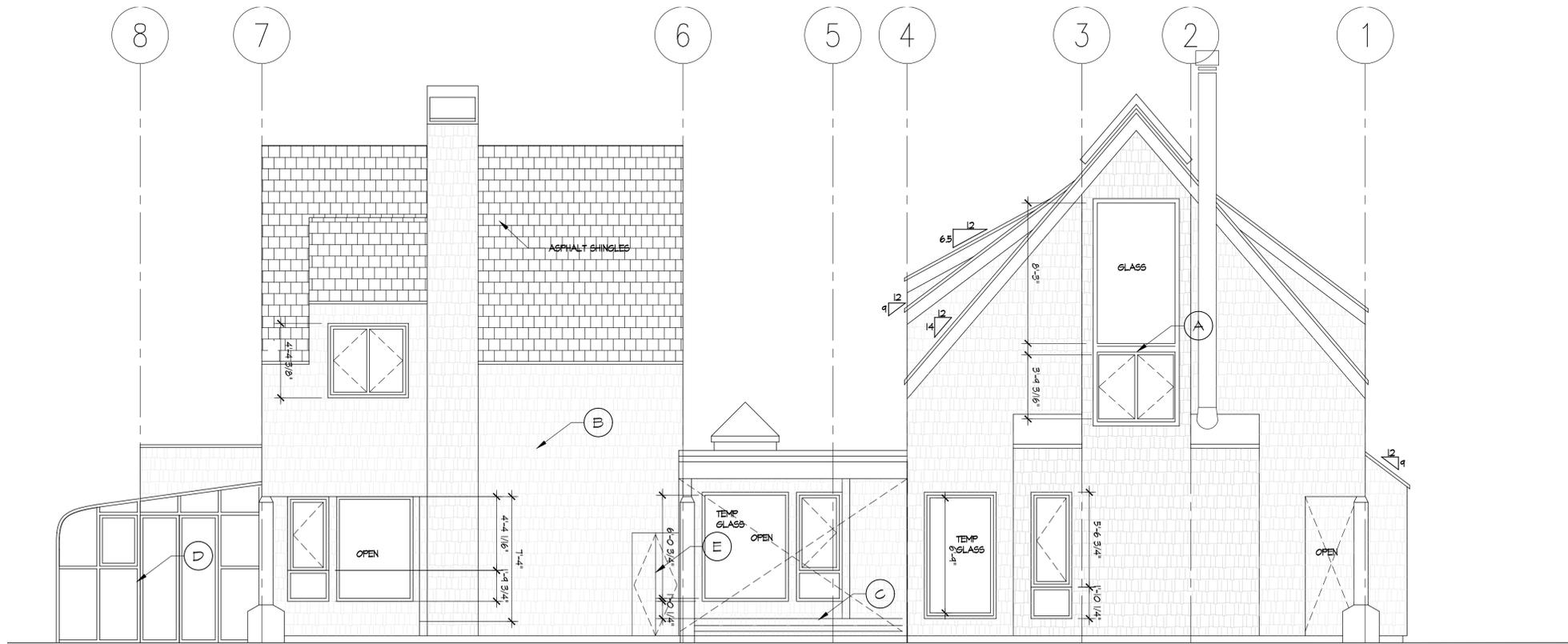
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| EXISTING ELEVATIONS | |
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GENERAL DEMOLITION NOTES

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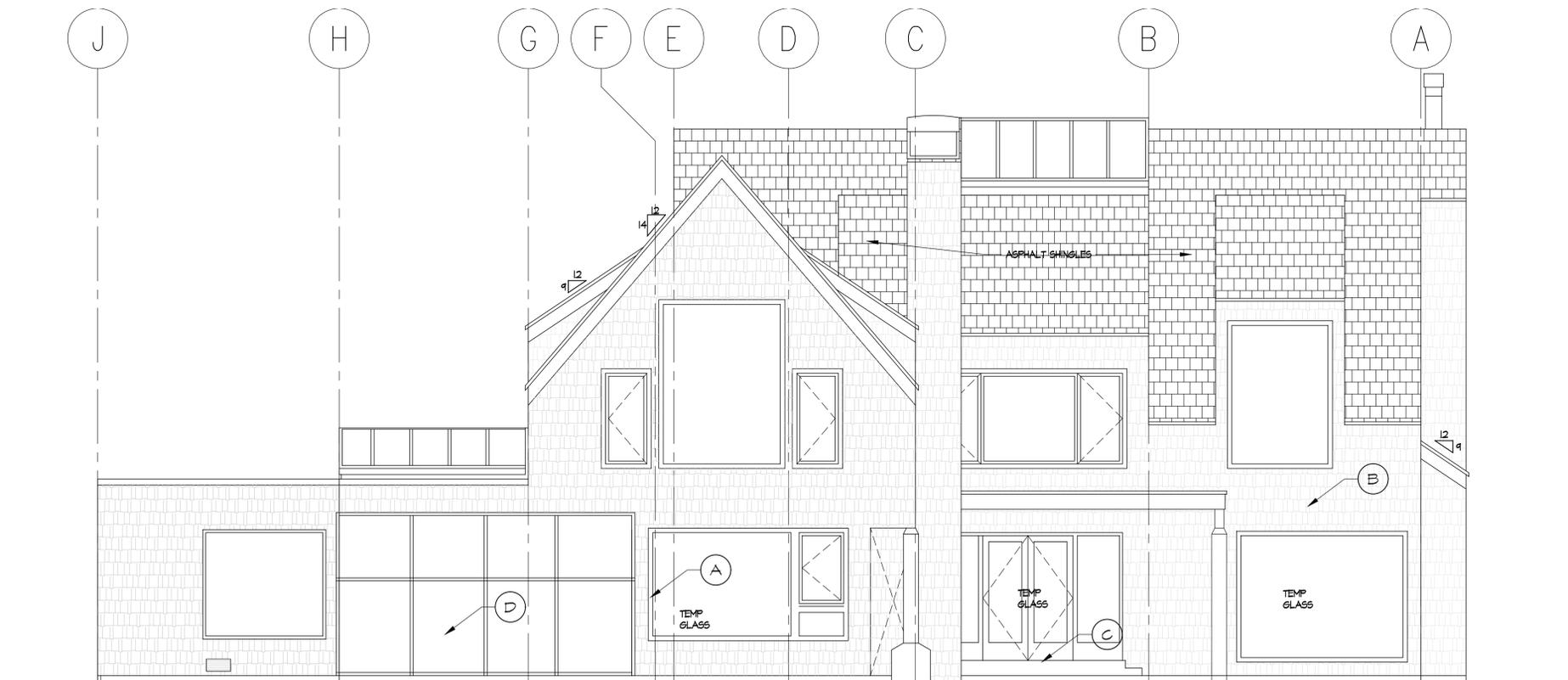
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10. REMOVE & REPLACE ALL DRYER AND BATHROOM VENTS, LIKE FOR LIKE.



01 EXISTING/DEMO SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

DEMOLITION KEY & NOTES

- A. REMOVE EXISTING WINDOWS & TRIM, PREP FOR NEW
- B. REMOVE SHINGLES & TRIM TO EXISTING SUBSTRATE, PREP FOR NEW, RE: ELEVATIONS.
- C. EXISTING DECKS TO REMAIN
- D. EXISTING GREENHOUSE TO REMAIN
- E. REMOVE DOORS & SIDING FROM ELECTRICAL ENCLOSURE, FRAMING TO REMAIN, PREP FOR NEW

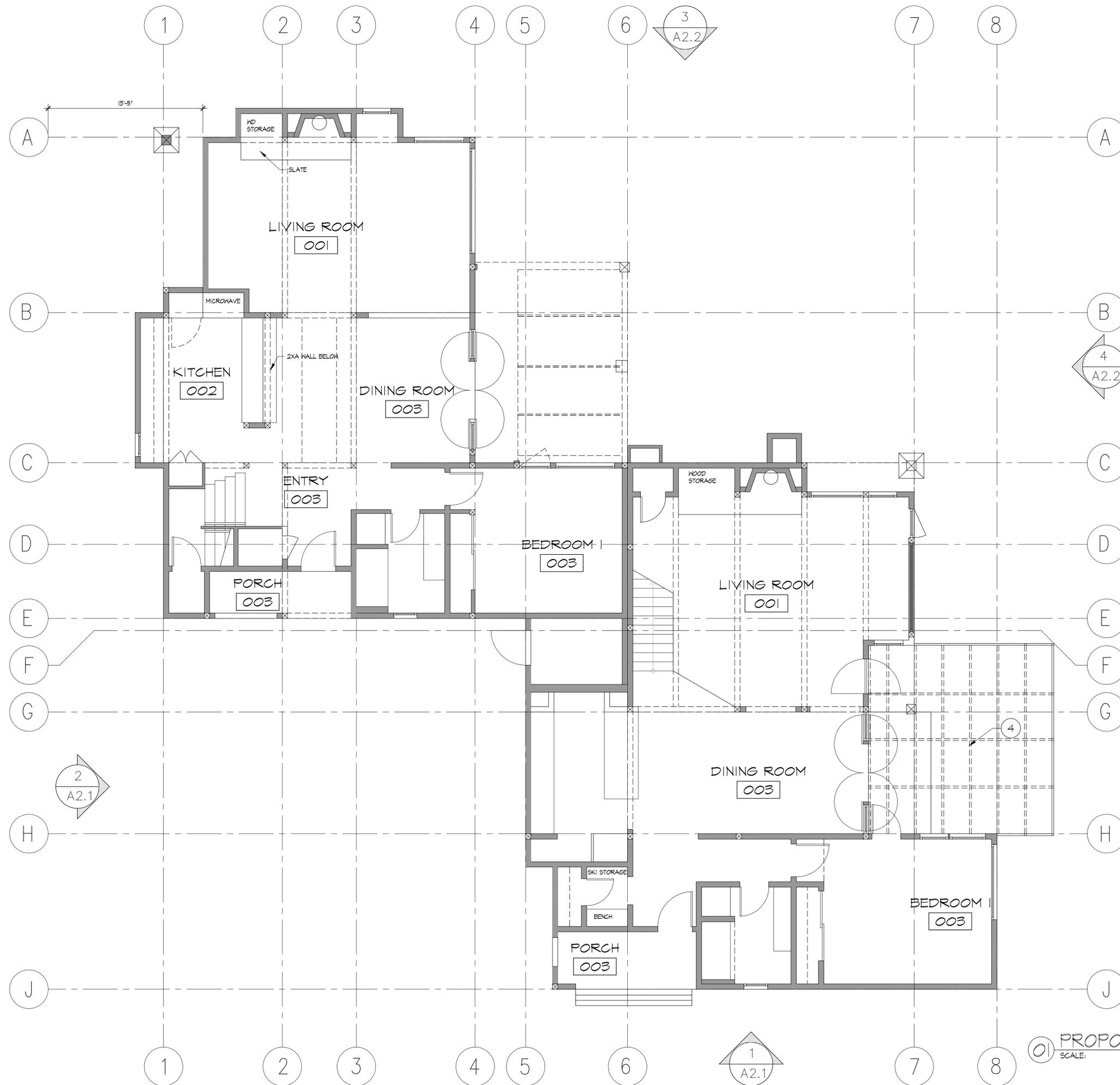


02 EXISTING/DEMO WEST ELEVATION
SCALE: 1/4" = 1' - 0"

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- MATERIALS LEGEND**
- ① NEW WESTERN RIB WALL PANEL, COLOR CORTEN AZP RAW
 - ② NEW H25 HARDIE PLANK SELECT CEDARMILL - WIDTH 8.25", 1" EXPOSURE, COLOR TIMBER BARK
 - ③ TRIM: 5/4 RUSTIC GRAIN (THICKNESS = 1"), STATEMENT COLLECTION, COLOR NAVAJO BEIGE
 A - WINDOWS - 5/4 RUSTIC GRAIN, WIDTH = 5.5"
 B - INSIDE CORNERS - 5/4 RUSTIC GRAIN, WIDTH = 3.5"
 C - OUTSIDE CORNERS - 5/4 RUSTIC GRAIN, WIDTH = 3.5"
 D - FRIEZE BAND - 4/4 RUSTIC GRAIN, WIDTH = 5.5", THICKNESS = 0.75"
 - ④ EXISTING GREENHOUSE TO REMAIN
 - ⑤ SOFFITS & SOFFIT VENTS TO REMAIN, PAINT TO MATCH SOLID SIDING COLOR
 - ⑥ NEW PELLA ARCHITECT SERIES WINDOWS & DOORS
 - ⑦ FASCIAS TO REMAIN, PAINT TO MATCH TRIM COLOR
 - ⑧ NEW WESTERN STATES T-GROOVE PANEL, NO REVEAL, COLOR MANSARD BROWN

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PROPOSED 1ST FLOOR PLAN

SHEET NO. **A1.1**

① PROPOSED 1ST FLOOR PLAN
 SCALE: 1/4" = 1' - 0"



- MATERIALS LEGEND**
- ① NEW WESTERN RIB WALL PANEL, COLOR CORTEN AZP RAW
 - ② NEW H25 HARDIE PLANK SELECT CEDARMILL - WIDTH 8.25", 1" EXPOSURE, COLOR TIMBER BARK
 - ③ TRIM: 5/4 RUSTIC GRAIN (THICKNESS = 1"), STATEMENT COLLECTON, COLOR NAVAJO BEIGE
 A - WINDOWS - 5/4 RUSTIC GRAIN, WIDTH = 5.5"
 B - INSIDE CORNERS - 5/4 RUSTIC GRAIN, WIDTH = 3.5"
 C - OUTSIDE CORNERS - 5/4 RUSTIC GRAIN, WIDTH = 3.5"
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① PROPOSED 2ND FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

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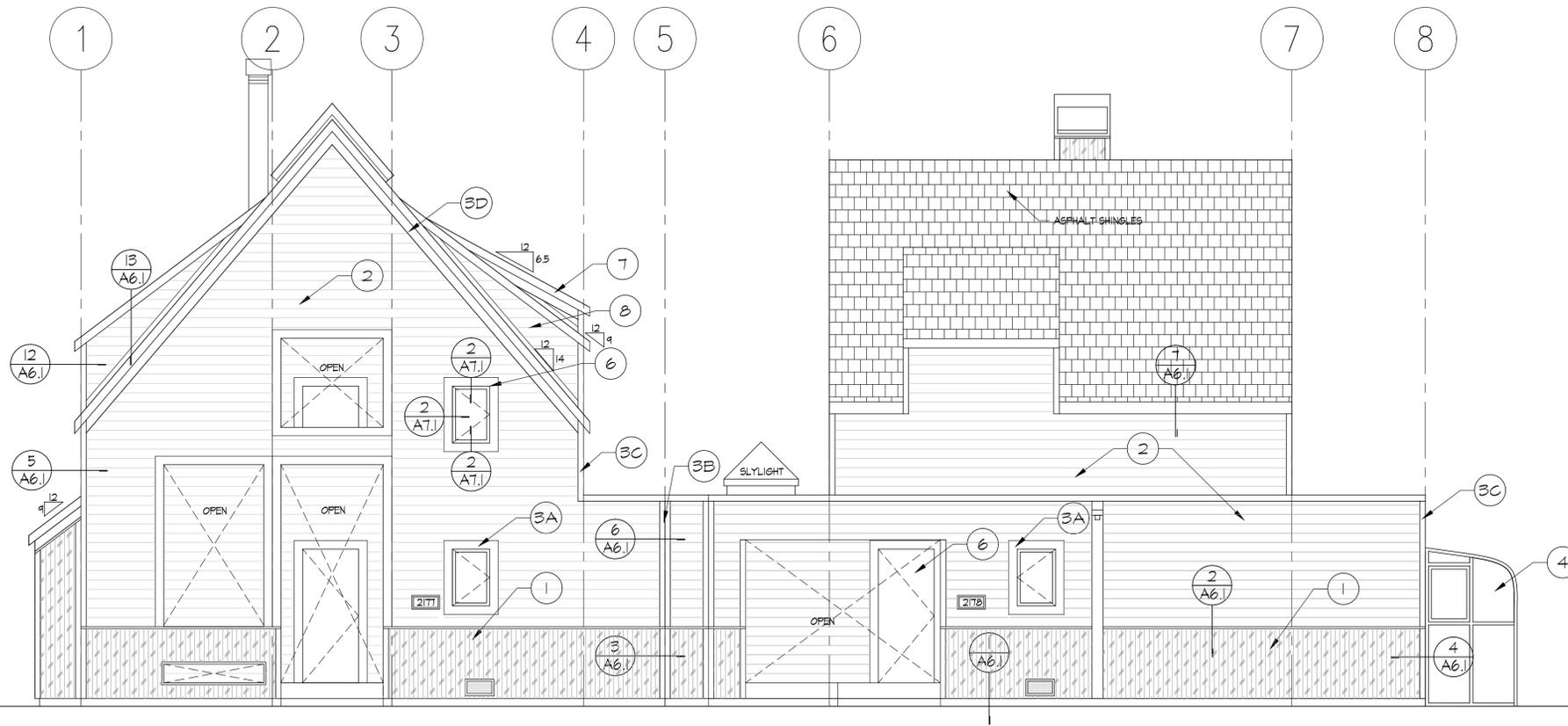
PROPOSED 2ND FLOOR PLAN

SHEET NO. **A1.2**

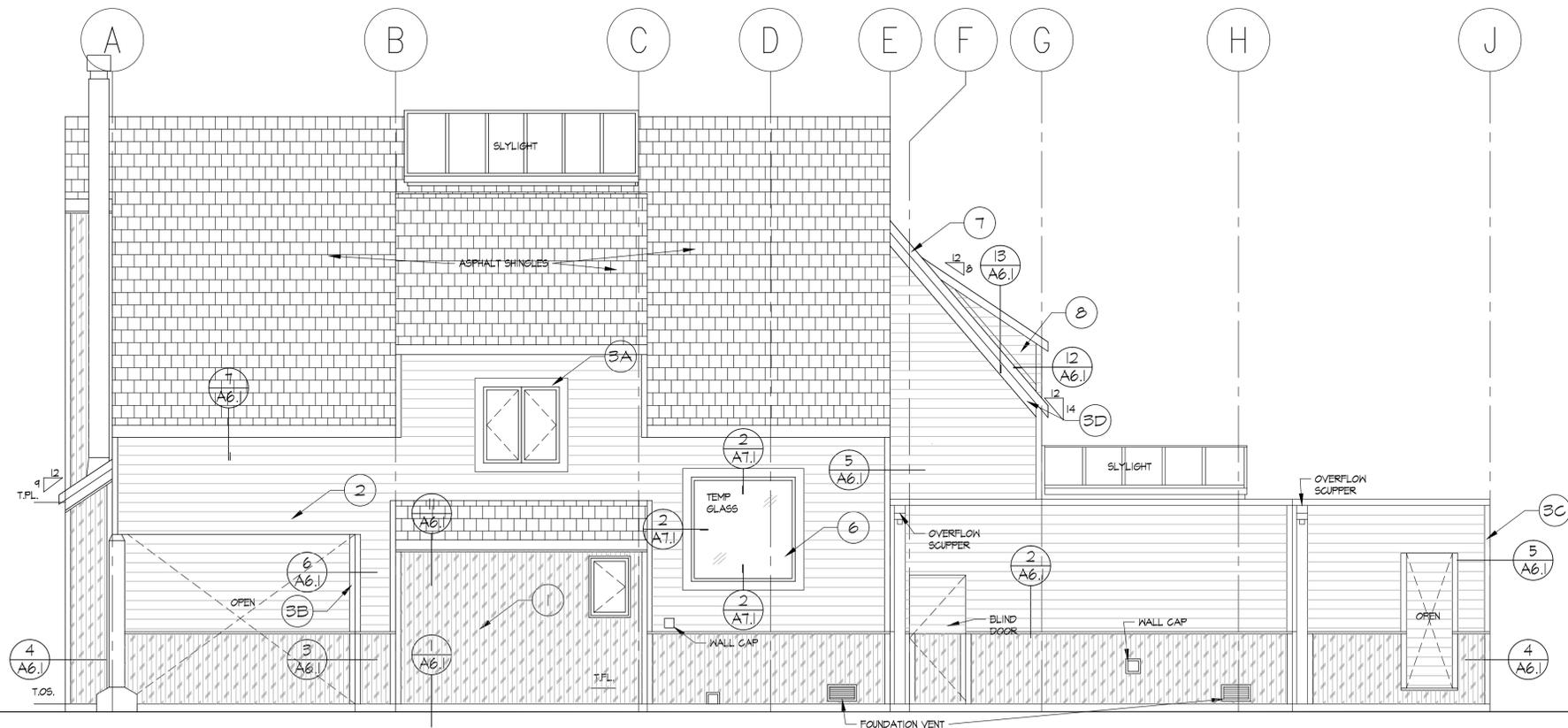


MATERIALS LEGEND

- ① NEW WESTERN RIB WALL PANEL, COLOR CORTEN AZP RAK
- ② NEW H25 HARDIE PLANK SELECT CEDARMILL - WIDTH 8.25", 1" EXPOSURE, COLOR TIMBER BARK
- ③ TRIM, 5/4 RUSTIC GRAIN (THICKNESS = 1"), STATEMENT COLLECTION, COLOR NAVAJO BEIGE
A - WINDOWS - 5/4 RUSTIC GRAIN, WIDTH = 5.5"
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- ④ EXISTING GREENHOUSE TO REMAIN
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- ⑥ NEW PELLA ARCHITECT SERIES WINDOWS & DOORS
- ⑦ FASCIAS TO REMAIN, PAINT TO MATCH TRIM COLOR
- ⑧ NEW WESTERN STATES T-GROOVE PANEL, NO REVEAL, COLOR MANSARD BROWN



01 NEW NORTH ELEVATION
SCALE: 1/4" = 1' - 0"



02 NEW EAST ELEVATION
SCALE: 1/4" = 1' - 0"

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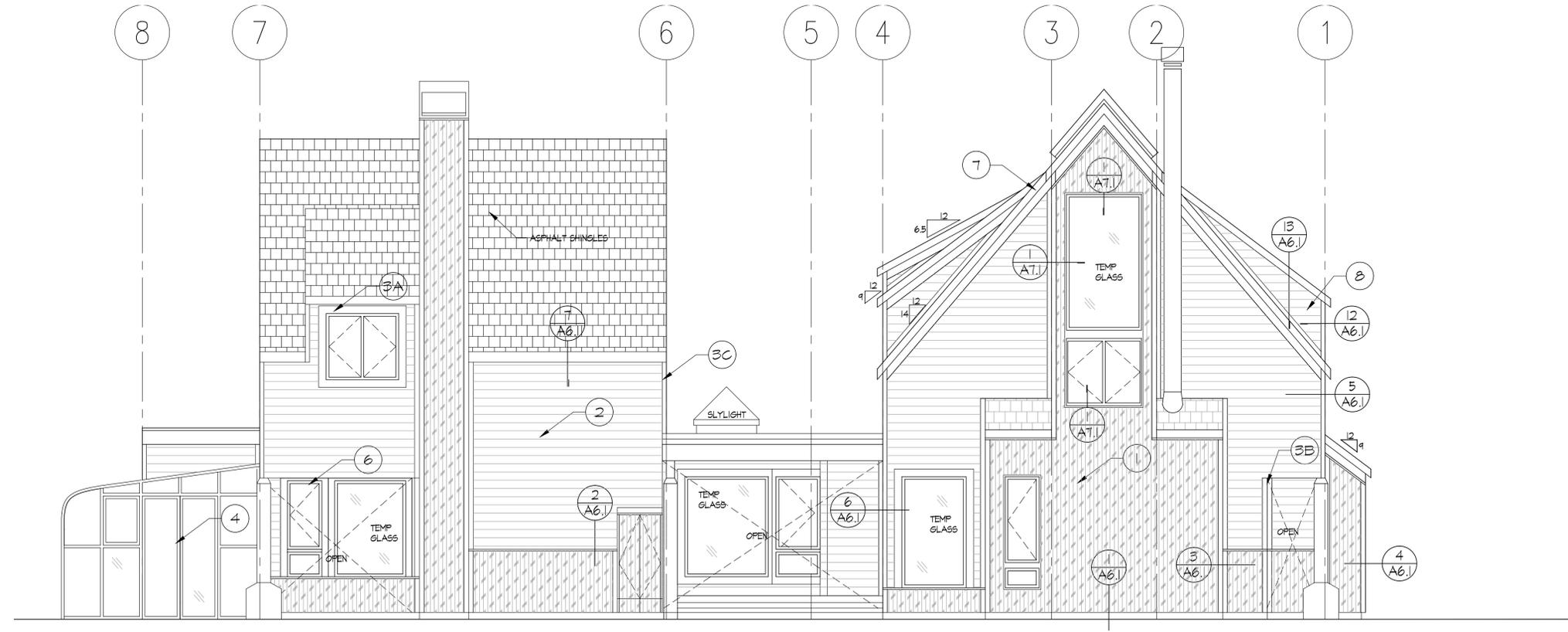
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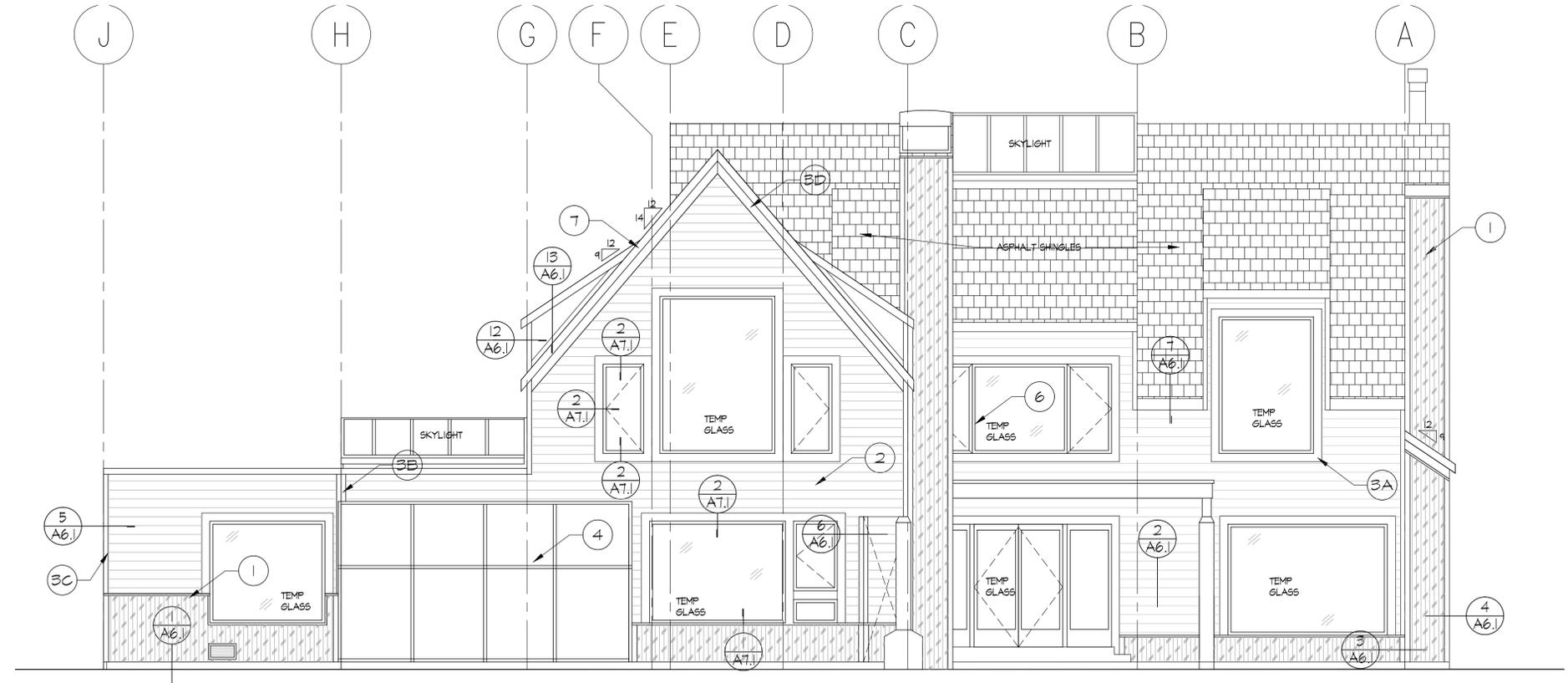


MATERIALS LEGEND

- ① NEW WESTERN RIB WALL PANEL, COLOR CORTEN AZP RAV
- ② NEW H25 HARDIE PLANK SELECT CEDARMILL - WIDTH 8.25", 1" EXPOSURE, COLOR TIMBER BARK
- ③ TRIM: 5/4 RUSTIC GRAIN (THICKNESS = 1"), STATEMENT COLLECTION, COLOR NAVAJO BEIGE
A - WINDOWS - 5/4 RUSTIC GRAIN, WIDTH = 5.5"
B - INSIDE CORNERS - 5/4 RUSTIC GRAIN, WIDTH = 3.5"
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01 NEW SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

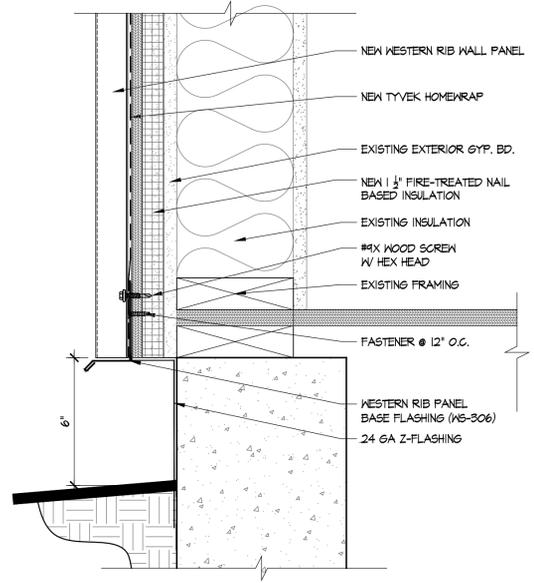


02 NEW WEST ELEVATION
SCALE: 1/4" = 1' - 0"

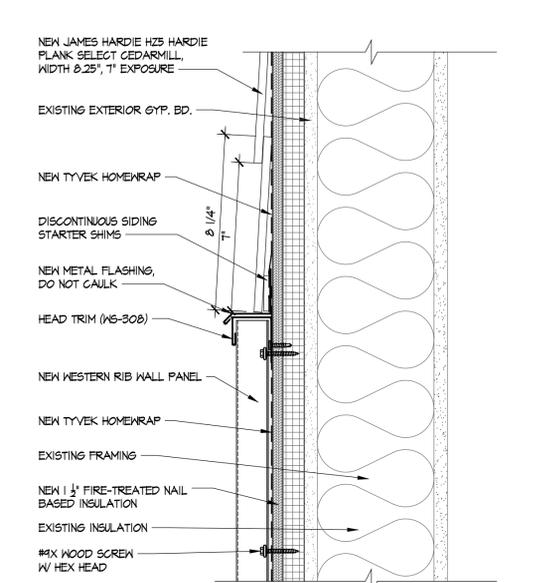
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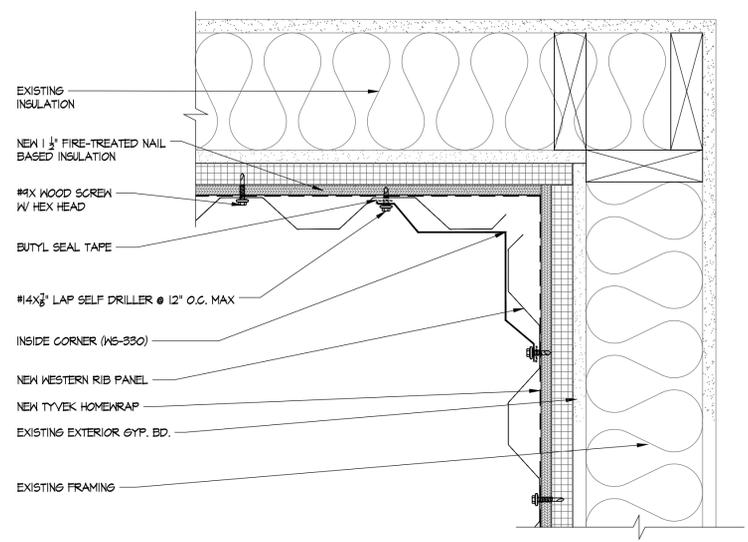
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| NEW ELEVATIONS | |
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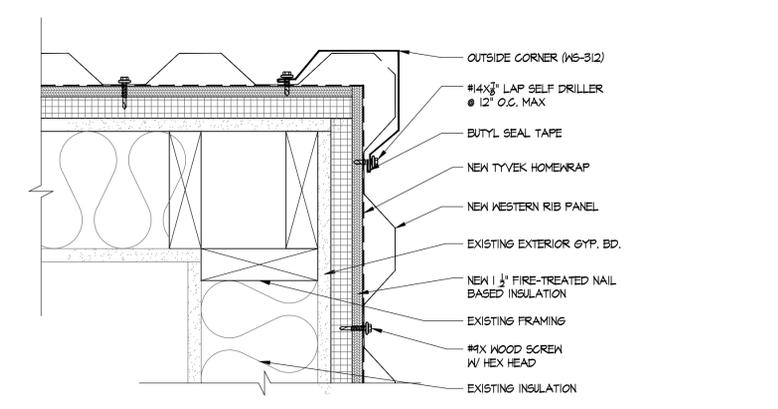
1 METAL PANEL BASE DETAIL
SCALE: 3" = 1' - 0"



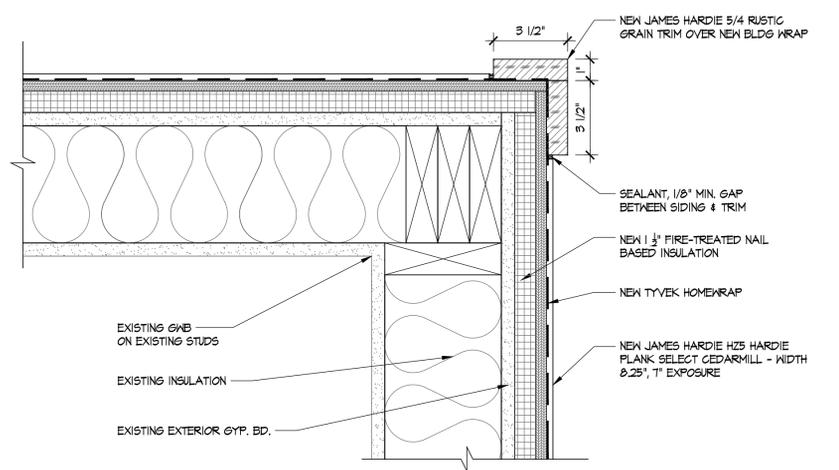
2 METAL PANEL HEAD DETAIL
SCALE: 3" = 1' - 0"



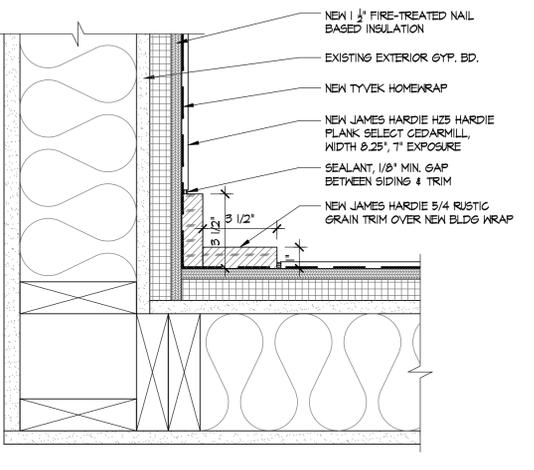
3 METAL PANEL INSIDE CORNER DETAIL
SCALE: 3" = 1' - 0"



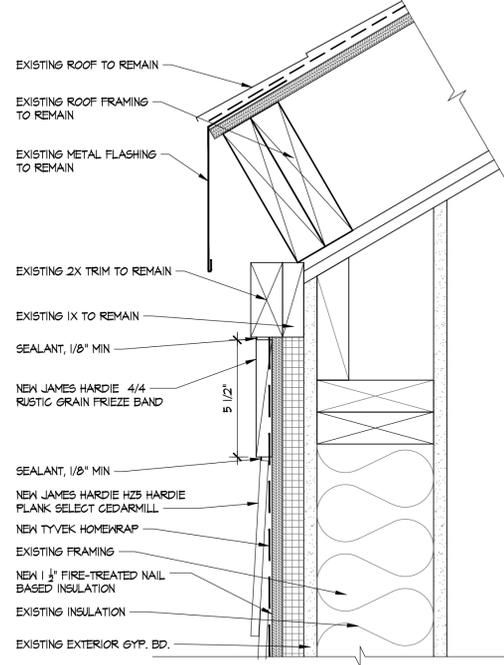
4 METAL PANEL OUTSIDE CORNER DETAIL
SCALE: 3" = 1' - 0"



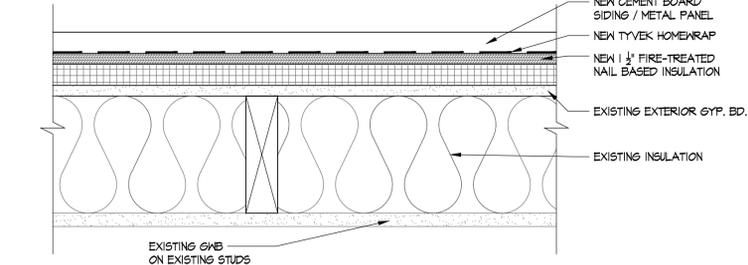
5 SIDING OUTSIDE CORNER DETAIL
SCALE: 3" = 1' - 0"



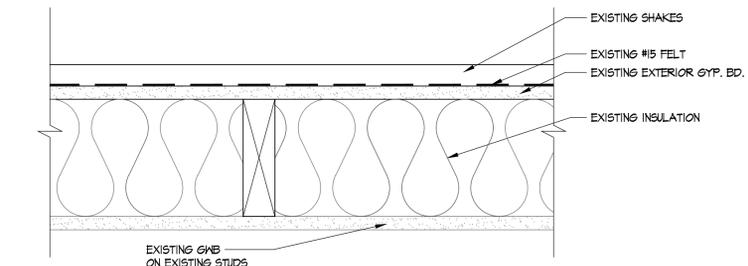
6 SIDING INSIDE CORNER DETAIL
SCALE: 3" = 1' - 0"



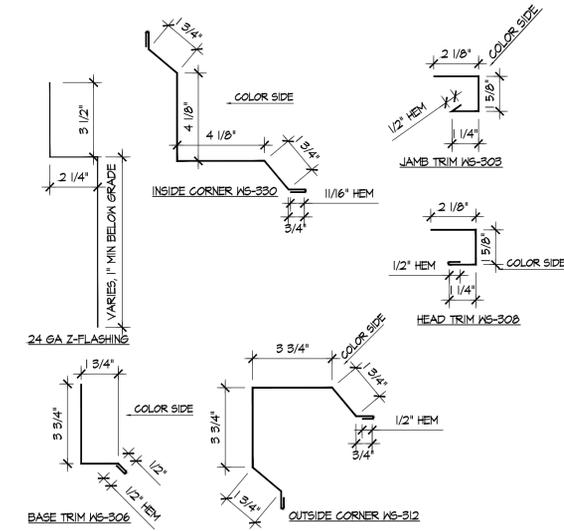
7 FRIEZE BAND DETAIL
SCALE: 3" = 1' - 0"



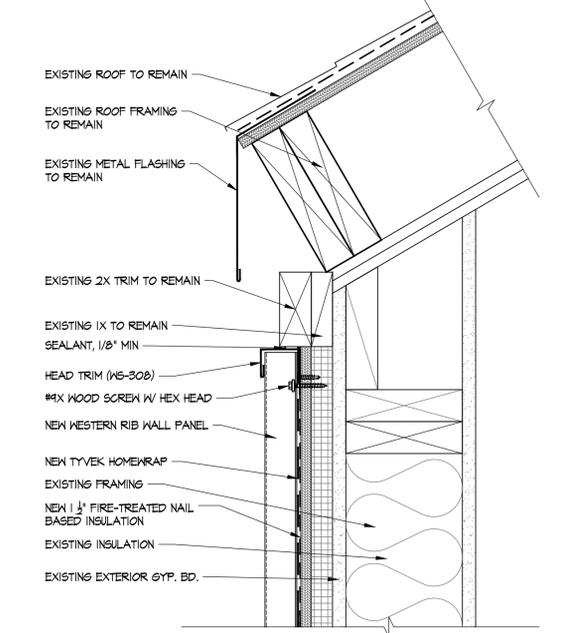
8 PROPOSED WALL DETAIL
SCALE: 3" = 1' - 0"



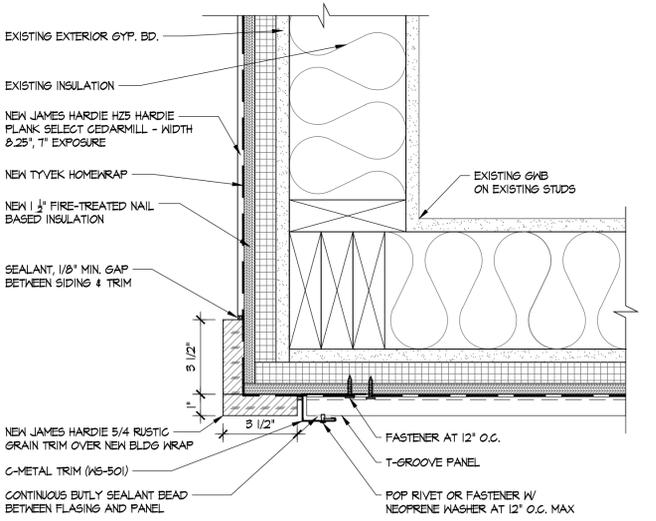
9 EXISTING WALL DETAIL
SCALE: 3" = 1' - 0"



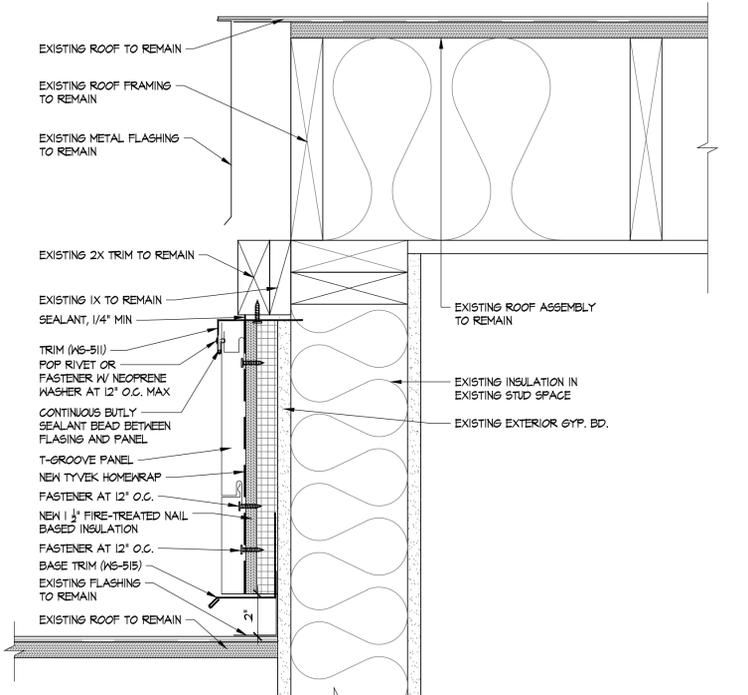
10 METAL PANEL TRIM PROFILES
SCALE: 3" = 1' - 0"



11 METAL PANEL ROOF DETAIL
SCALE: 3" = 1' - 0"



12 T-GROOVE / SIDING CORNER DETAIL
SCALE: 3" = 1' - 0"



13 T-GROOVE DETAIL
SCALE: 3" = 1' - 0"

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A. WINDOW GENERAL NOTES

- IN ACCORDANCE WITH 2018 IBC FOR PINES REPLACEMENT WINDOWS AND DOORS
- GLAZING: LOW-E (212) INSULATED GLASS
 - MINIMUM PERFORMANCE VALUES PER THE SUMMIT COUNTY AMENDMENTS, TABLE R402.1.2 (IECC R402.1.2)
 - FENESTRATION U-FACTOR IS AMENDED TO READ 0.32 FOR CLIMATE ZONE 1 AND 2.
 - EVERY SLEEPING ROOM AND BASEMENT SHALL BE PROVIDED WITH AT LEAST ONE OPERABLE ESCAPE WINDOW MEETING THE REQUIREMENTS LISTED BELOW:
 - SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
 - MINIMUM OPENABLE HEIGHT SHALL BE 24".
 - MINIMUM OPENABLE WIDTH SHALL BE 20".
 - THE SILL MUST BE NO MORE THAN 44" ABOVE THE FLOOR.
 - SAFETY GLAZING SHALL BE DETERMINED BY THE WINDOW SUPPLIER-ALL WINDOWS AND GLASS SHALL COMPLY WITH THEIR RESPECTIVE CODE. SAFETY GLAZING IS REQUIRED AT:
 - FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
 - GLAZING ADJACENT TO A DOOR WHERE THE GLAZING IS WITHIN 24" OF EITHER EDGE OF THE DOOR AND IS LESS THAN 60" ABOVE FIN. FLR.
 - GLASS WITHIN 18" OF THE FLOOR.
 - ALL OPERATIVE WINDOWS SHALL HAVE INSECT SCREENS.
 - CONTRACTOR TO VERIFY ROUGH OPENINGS FOR WINDOW SIZES.
 - "WCCD" - WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH 2012 IBC, SECTION 1013.8.1
 - 1013.8.1 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1024.2
 - 1024.2 MINIMUM SIZE. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET.
 - APPLY INSULATING FOAM SEALANT PER WINDOW MANUFACTURERS RECOMMENDATIONS

B: WINDOW SPECS

- APPLY INSULATING FOAM SEALANT PER WINDOW MANUFACTURERS RECOMMENDATIONS
 - BACKER ROD AND CAULKING: ALL JOINTS SHALL BE BETWEEN A MINIMUM OF 1/8" AND A MAXIMUM OF 1/2" UNLESS NOTED OTHERWISE. INSTALL BOND-BREAKER TAPE BEHIND SEALANTS WHERE SEALANT BACKINGS ARE NOT USED BETWEEN SEALANTS AND BACKS OF JOINTS. CAULKING: SHERWIN WILLIAMS; SHER-MAX URETHANIZED ELASTOMERIC SEALANT
 - REPLACEMENT WINDOWS AND DOORS ARE TO BE EXTRUDED ALUMINUM CLAD WOOD WITH 2605 (KYNAR) FINISH.
- COLOR: MATCH EXISTING
- HARDWARE: BY OWNER
- HARDWARE: DOOR PATIO - PELLA RUSTIC COLLECTION; ELKHORN DISTRESSED BRONZE - MANDATORY AT EXTERIOR, INTERIOR AT OWNER DISCRETION
- MULLIONS TO MATCH EXISTING MULLIONS (OR AS CLOSE WITHIN A STANDARD S/DL PROFILE)
- PROVIDE STANDARD DARK BRONZE SCREENS ON ALL OPERABLE WINDOWS.
- INTERIOR FINISH, INTERIOR PAINTING, WINDOW & DOOR COVERINGS: VARIES BY OWNER.

C: HOA GUIDELINES

- DEPOSIT SUBMITTED WITH MANAGEMENT PER HOA RULES AND REGULATIONS REQUIRED.
- PROOF OF DESIGN REVIEW ADMINISTRATION APPROVAL REQUIRED AND BY OWNER.
- HOMEOWNER WINDOW INSTALLATION WORK MAY NOT INTERFERE IN ANY WAY WITH HOA PROJECTS WHICH TAKE PRECEDENCE. OWNER / CONTRACTOR TO COORDINATE WITH MANAGEMENT OFFICE.
- VMDA AND MANUFACTURER REPLACEMENT SPECIFICATIONS AND DRAWINGS MUST BE FOLLOWED.
- UPON COMPLETION THE FORMAL SIGN-OFF LETTER MUST BE ACKNOWLEDGED AND SIGNED BY BOTH THE HOMEOWNER AND THEIR CONTRACTOR.

D: OWNER / CONTRACTOR SIGN-OFF

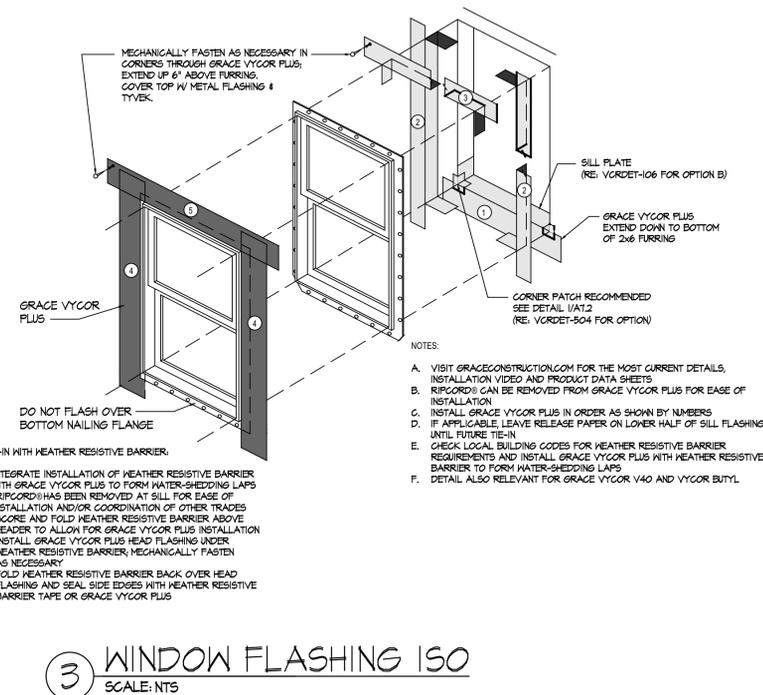
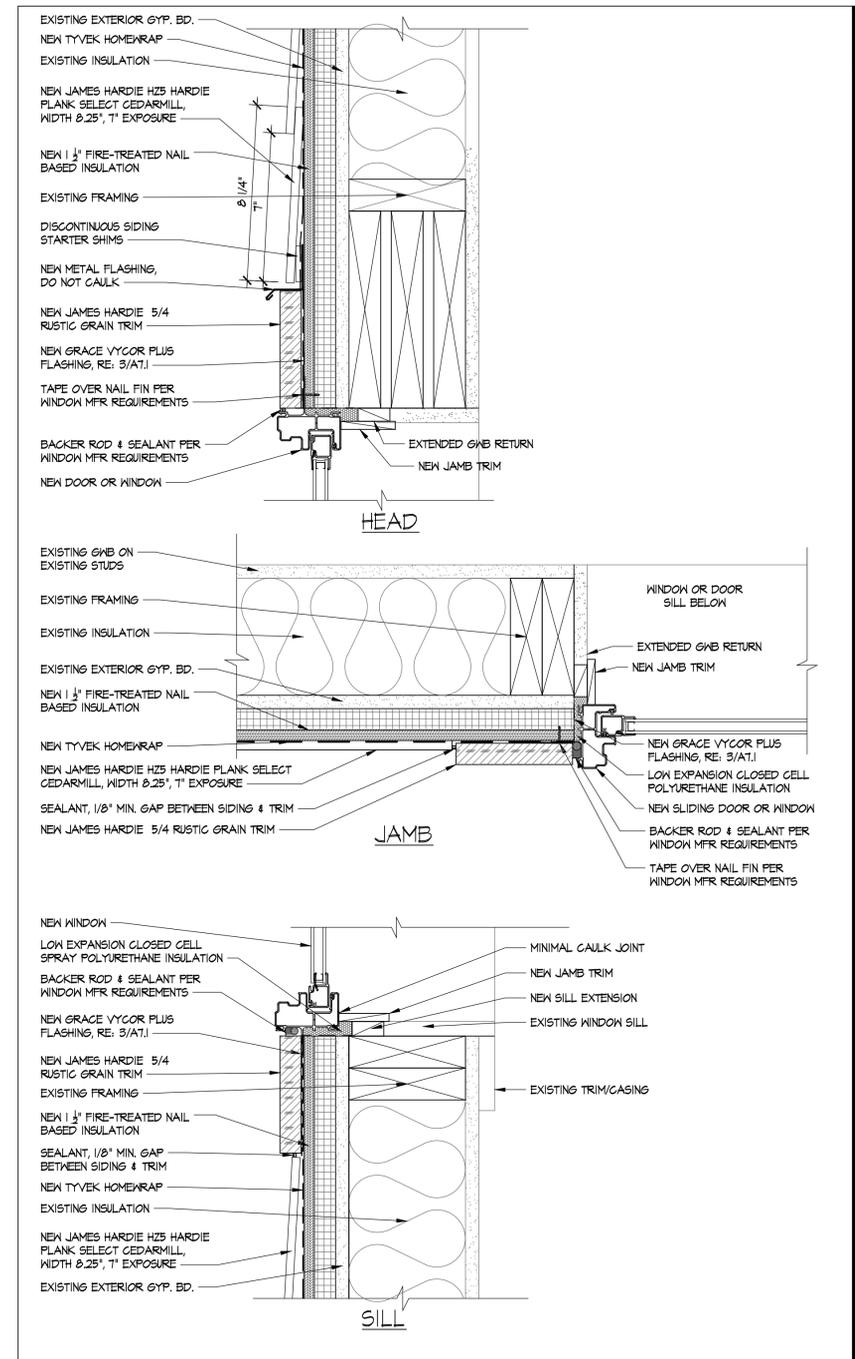
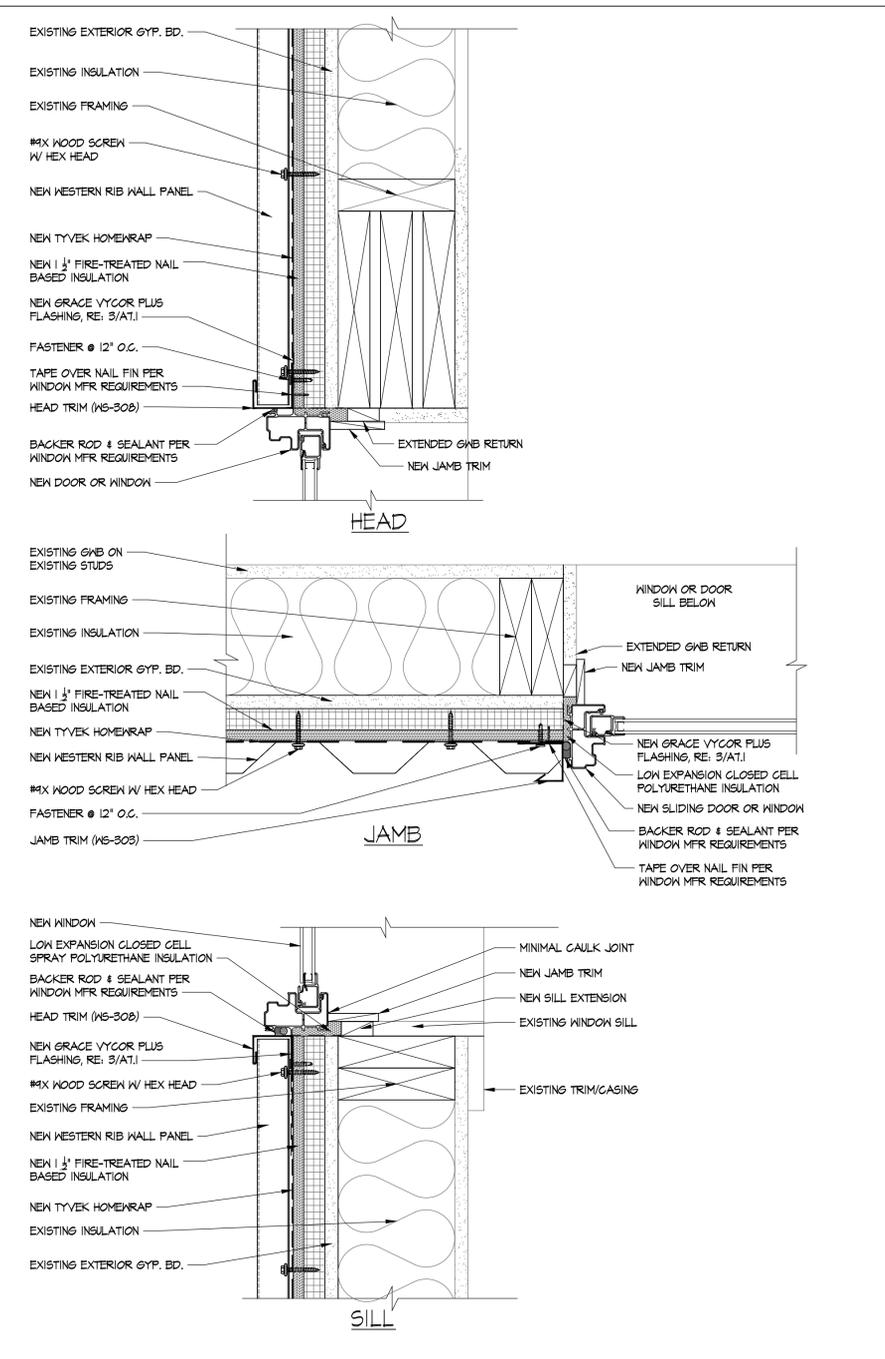
THE HOMEOWNER AND THEIR CONTRACTOR AGREE TO ABIDE BY THESE DOCUMENTS AND THE PINES HOA RENOVATION REGULATIONS (REVISED APRIL 2021).

UNIT #: _____ OWNER: _____ DATE: _____
 CONTRACTOR: _____ DATE: _____

GENERAL SCOPE OF WORK:

- FOR PURPOSES OF ADMINISTRATION OF THIS CONTRACT FOR CONSTRUCTION, THE PROPERTY MANAGER AND ARCHITECT ARE EACH CONSIDERED TO BE APPROVED OWNER REPRESENTATIVES FOR OBSERVATION OF WORK IN PROGRESS, THE MAINTENANCE OF PROJECT SCHEDULE AND FOR SANCTIONING OF FINAL CLEAN AND PUNCH LIST BY CONTRACTOR. THE OWNER IS DEFINED AS THE PINES AT KEYSTONE BOARD OF MANAGERS.
- UPON ARRIVAL OF THE SLIDING GLASS DOOR AND WINDOW PRODUCTS FROM EAGLE ANDERSEN AND PELLA, RESPECTIVELY, CONDUCT A CAREFUL INVENTORY OF ALL DOOR & WINDOW UNITS TO CONFIRM COMPLETENESS OF INVENTORY INCLUDING ALL ASSOCIATED PARTS, SCREENS, ACCESSORIES, ETC. IMMEDIATELY NOTIFY SUPPLIER, OWNER AND ARCHITECT OF ANY MISSING OR DAMAGED PRODUCTS THAT WOULD INHIBIT 100% TIMELY COMPLETION OF THE PROJECT FOR ITS INTENDED USE.
- RE-CONFIRM (OR ADJUST AS MAY BE NEEDED) WITH OWNER, PROPERTY MANAGER AND ARCHITECT THE AGREED UPON WINDOW PROJECT SCHEDULE ON A CONDO BY CONDO BASIS SO ALL PARTIES ARE KEPT APPRISED OF PROGRESS, SCHEDULE CONFORMANCE AND FINAL TURNOVER DATE FOR EACH CONDO.
- AT COMMENCEMENT EACH CONDO UNIT:
 - PROTECT FURNITURE, PERSONAL ITEMS AND FINISHES.
 - KEEP CONDO SECURE AT ALL TIMES.
 - EXECUTE ALL WORK WITH A PROPER STANDARD OF CARE FOR SAFETY INCLUDING INSIDE AND OUTSIDE OF EACH UNIT.
 - CONTROL TRASH, DEBRIS AND DEMOLISHED MATERIALS FROM INTRUDING UPON ANY COMMON AREAS AND REMOVAL FROM SITE AT REGULAR INTERVALS.
 - UPON COMPLETION OF REMOVAL OF INTERIOR AND EXTERIOR TRIMS AND WITH DOORS/WINDOWS AT EACH CONDO, PROVIDE A PHOTOGRAPHIC RECORD CLEARLY DEPICTING THE EXISTING CONDITION OF HEAD, JAMB AND SILL ROUGH OPENINGS AND NOTIFY PROPERTY MANAGER AND ARCHITECT OF ANY WATER DAMAGE, DRY ROT OR OTHERWISE DETERIORATED AND/OR NET FRAMING MEMBERS AND SURROUNDING MATERIALS. ASSIST IN DETERMINING THE NEED TO REPLACE CONSTRUCTION MATERIALS AND/OR TREAT FOR WATER DAMAGE OR MOLD. ANY SUCH REMEDIAL WORK SHALL BE CONSIDERED ADDITIONAL WORK AND IS TO BE PERFORMED ON A TIME & MATERIALS BASIS WITH AN ESTIMATE PRIOR TO COMMENCEMENT OF SUCH REMEDIAL WORK.
 - INSTALL EACH DOOR/WINDOW UNIT IN ACCORDANCE WITH THESE VMDA DOCUMENTS; CONTACT VMDA WITH ANY QUESTIONS OR CLARIFICATIONS NEEDED IMMEDIATELY UPON REVIEW AND PRIOR TO ANY SUCH CLARIFICATIONS BECOMING A CRITICAL PATH ITEM.
 - UPON COMPLETION OF ALL INSTALLATIONS, RETURN EACH CONDO UNIT TO ITS ORIGINAL PLACEMENT OF FURNISHINGS, REMOVAL OF ALL DEBRIS, PERFORM FINAL CLEAN AND DEMOBILIZE ALL EQUIPMENT AND MATERIALS FROM THE CONDO.
 - OWNER REPRESENTATIVE WILL PERFORM FINAL REVIEW WITH CONTRACTOR TO APPROVE PUNCH LIST AND FINAL CLEAN IS COMPLETE.

END GENERAL SCOPE OF WORK



1 WINDOW DETAILS
 SCALE: 3" = 1' - 0" • WESTERN RIB METAL PANELS

2 WINDOW DETAILS
 SCALE: 3" = 1' - 0" • JAMES HARDIE SIDING

3 WINDOW FLASHING ISO
 SCALE: NTS

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COLORADO LICENSED
 ARCHITECT
 ARC 00408166

BUILDING 2177 & 2178
 RE-SKIN

The PINES at KEYSTONE

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 KEYSTONE, COLORADO 80435

BUILDING PERMIT

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REVISION

DATE 07/03/24

JOB NO. 2314

WINDOW DETAILS

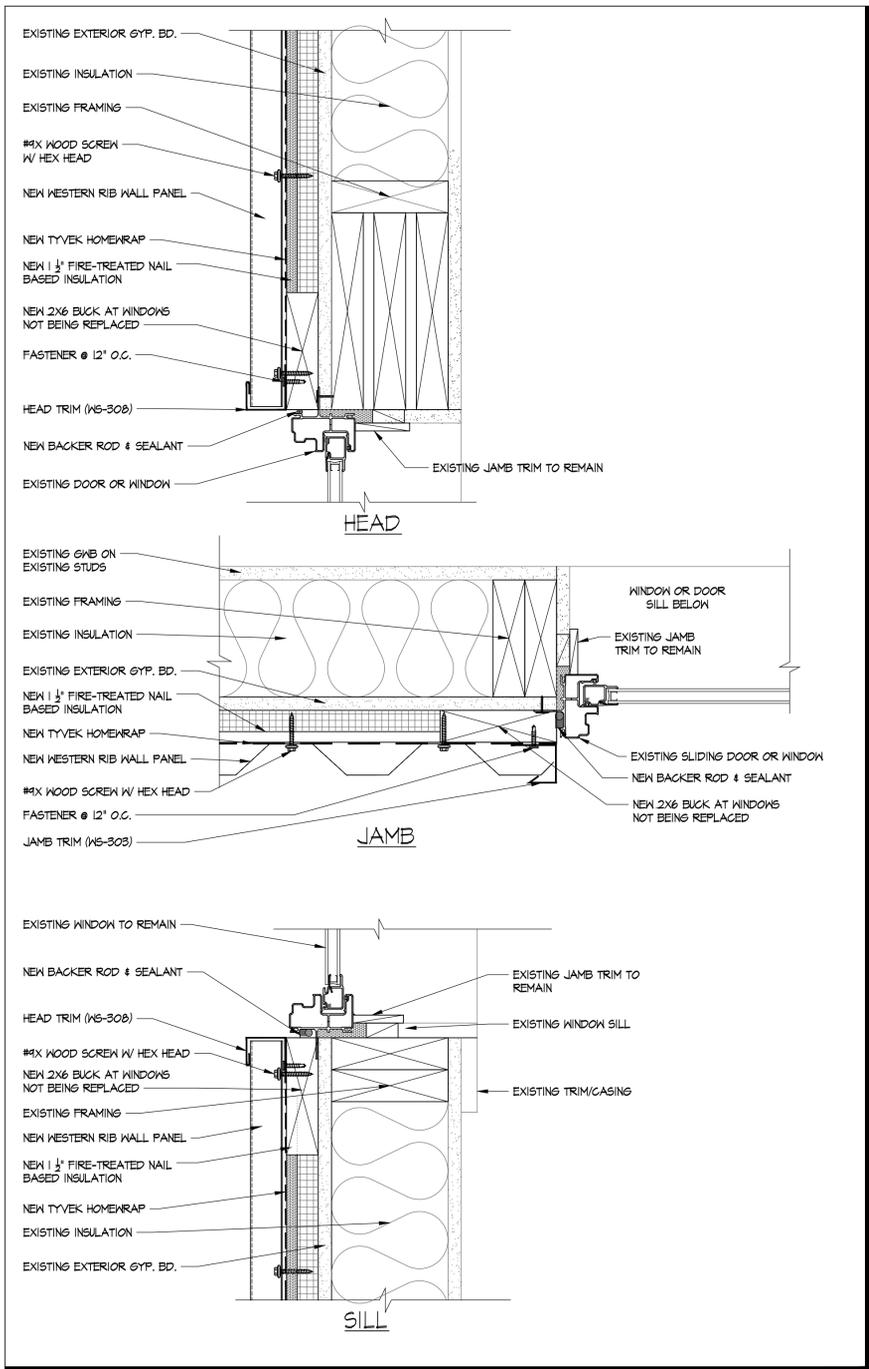
SHEET NO. A7.1



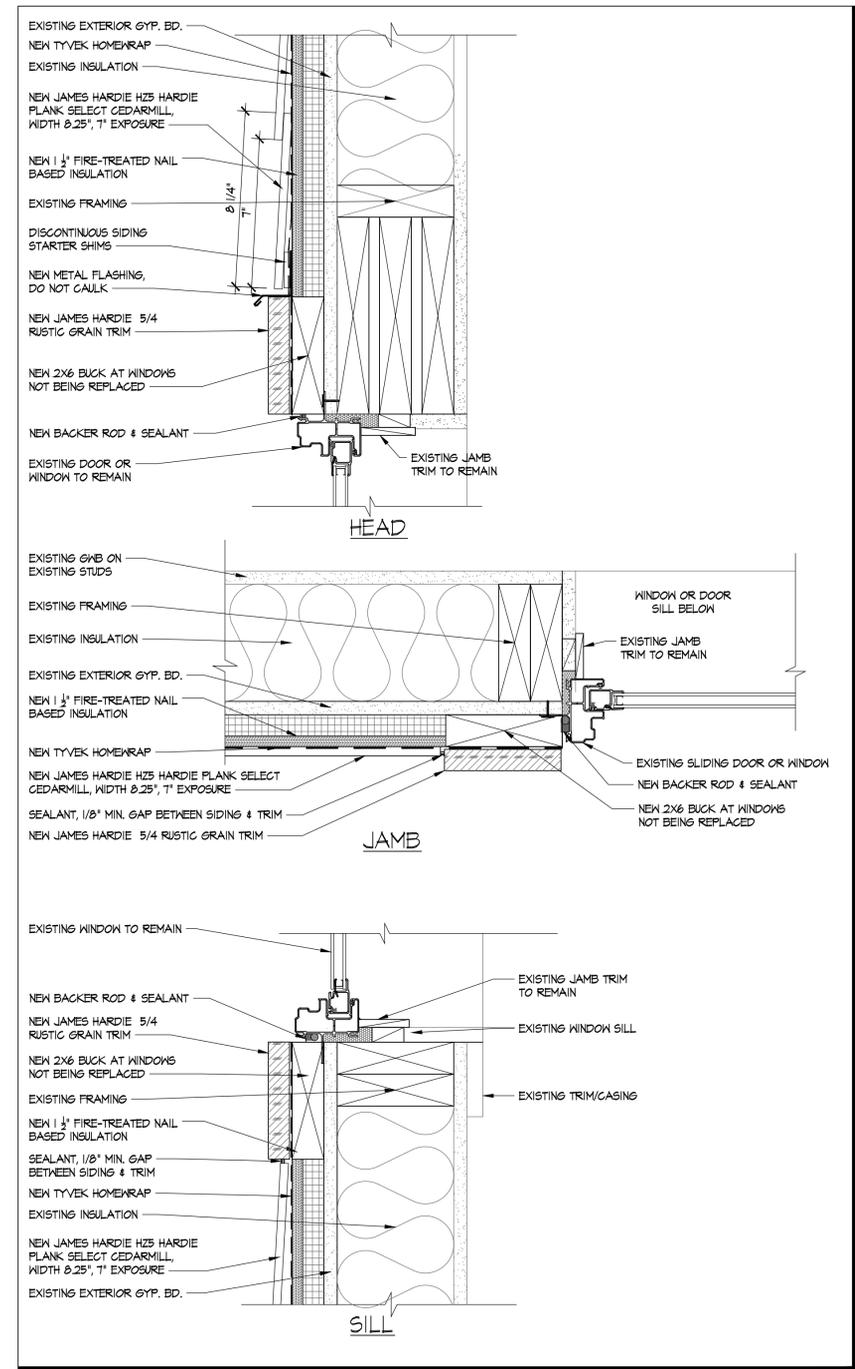
BUILDING 2177 & 2178
 RE-SKIN
The PINES at KEYSTONE
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 KEYSTONE, COLORADO 80435

BUILDING PERMIT

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| REVISION | | |
| DATE | 07/03/24 | |
| JOB NO. | 2314 | |
| DETAILS FOR WINDOWS NOT BEING REPLACED | | |
| SHEET NO. | A7.2 | |



① DETAILS FOR WINDOWS NOT BEING REPLACED
 SCALE: 3" = 1' - 0" ● WESTERN RIB METAL PANELS



② DETAILS FOR WINDOWS NOT BEING REPLACED
 SCALE: 3" = 1' - 0" ● JAMES HARDIE SIDING

NOTE
 DETAILS ON THIS SHEET ARE FOR WINDOWS THAT ARE NOT BEING REPLACED