

SILVER MILL RESORT

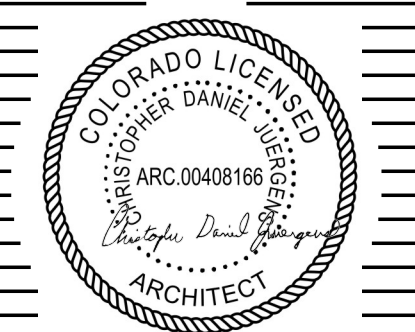
140 IDA BELLE DR
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TOWER RE-SIDING DETAILS
SILVER MILL RESORT
140 IDA BELLE DR
KEYSTONE, COLORADO 80435

MATERIAL SYMBOLS

	EARTH		SHEATHING (PLYWOOD/OSB)
	GRAVEL / DRAINAGE		WOOD-FINISH
	CONCRETE		WOOD-ROUGH
	STUCCO / EIFS or GYPSUM WALL BOARD		WOOD-BLOCKING
	BATT INSULATION		ROOF SHINGLES (SHAKE / ASPHALT)
	RIGID INSULATION		ROOF TILES (CERAMIC / SLATE)
	MASONRY		STONE VENEER (DRY STACK)
	STEEL / METAL		STONE VENEER (GROUTED)
	METAL DECKING		HEAVY TIMBER
	METAL STUDS		ENGINEERED WOOD
			GLAZING / MIRROR

DRAWING SYMBOLS

	SECTION CUT SYMBOL
	ELEVATION REFERENCE
	ELEVATION SYMBOLS
	REVISION SYMBOL
	DETAIL OR PLAN ENLARGEMENT
	WINDOW REFERENCE
	WINDOW / DOOR SIZE (FT. IN)
	DOOR REFERENCE
	WALL TYPE REFERENCE
	ROOF PITCH SYMBOL
	WELD SYMBOL
	DRAINAGE FLOW DESIGNATION
	KEYNOTE

ABBREVIATIONS

ABV	ABOVE	LB	POUND
AFF	ABOVE FINISHED FLOOR	LT	LIGHT
AFG	ABOVE FINISHED GRADE	LTL	LINTEL
AP	ACCESS PANEL	LVR	LOUVER
ACT	ACOUSTICAL CEILING TILE	M	MANHOLE
ADJ	ADJACENT	MFR	MANUFACTURER
ALT	ALTERNATE	MO	MASONRY OPENING
AL	ALUMINUM	MATL	MATERIAL
APPROX	APPROXIMATELY	MAX	MAXIMUM
ADA	AMERICAN DISABILITY ACT	MECH	MECHANICAL
A/C	AIR CONDITIONING	MC	MEDICINE CABINET
ARCH	ARCHITECTURAL	MBE	MEMBRANE
BSEMT	BASEMENT	MTL	METAL
BRG	BEARING	MTR	METER
BFG	BELOW FINISHED GRADE	MI	MICROWAVE
BEAM	BEAM	MM	MILLIMETER
BVL	BEVELED	MPH	MILES PER HOUR
BLK	BLOCK	MINIBT	MINIBRIST
BLKG	BLOCKING	MIR	MIRROR
BD	BOARD	MISC	MISCELLANEOUS
BO	BOTTOM OF	MR	MOISTURE RESISTANT
BOT	BOTTOM	MULL	MULLION
BLDG	BUILDING	NAT	NATURAL
BPT	BURST	NR	NOISE REDUCTION
CSMT	CASEMENT	NOM	NOMINAL
CIP	CAST IN PLACE	N	NORTH
CLG	CEILING	NTC	NOT IN CONTRACT
CTR	CENTER	NTS	NOT TO SCALE
CT	CERAMIC TILE	O.C.	ON CENTER
CLR	CLEARANCE	OPF	OPPOSITE
COL	COLUMN	OPH	OPPOSITE HAND
CONC	CONCRETE	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
C	CONDUIT	OH	OVERHEAD
CONST	CONSTRUCTION	OA	OVERALL
CONT	CONTINUOUS	(P)	PAINT
CLT	CONTROL JOINT	FR	PAIR
CPR	COPPER	PCKG	PARKING
CUST	CUSTOM	PVMT	PAVEMENT
DEPT	DEPARTMENT	PEDEST	PEDESTAL
D	DEPTH	PLAM	PLASTIC LAMINATE
DTL	DETAIL	PL	PLATE
DIM	DIMENSION	PUM	PUMPING
DW	DISH WASHER	PLY	PLYWOOD
DR	DOOR	PT	PRESSURE TREATED
DWG	DRAWING	PSF	POUNDS PER SQUARE FOOT
DF	DRINKING FOUNTAIN	PSI	POUNDS PER SQUARE INCH
E	EAST	PRE-CAST	PRE-CAST
ELEC	ELECTRICAL	PROP	PROPERTY
ELEV	ELEVATIONS	QT	QUARRY TILE
EL	ELEVATOR	R	RECEPTACLE
EMER	EMERGENCY	REF	REFER TO
EQUAL	EQUAL	REFR	REFRIGERATOR
EQUIV	EQUIVALENT	REINF	REINFORCING
EXH	EXHAUST	REGD	REGISTERED
EXG	EXISTING	REV	REVISION
EXP	EXPANSION	RH	RIGHT HAND
EXT	EXTERIOR	R	RISER
FCG	FACE OF CONCRETE	R45	ROOF AND SHELF
FOF	FACE OF FINISH	RD	ROOF DRAIN
FOM	FACE OF MASONRY	RFG	ROOFING
FOS	FACE OF STUDS	RM	ROOM
FIN FL	FINISH FLOOR ELEVATION	RO	ROUGH OPENING
FE	FIRE EXTINGUISHER	R/S	ROUGH SAWN
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FHC	FIRE HOSE CONNECTION	(S)	SEALANT
FEC	FIRE EXTINGUISHER CABINET	SHT	SHEET
FPL	FIREPLACE	SHTG	SHEATHING
FP	FIREPROOFING	SH	SHEET METAL
FLG	FLASHING	SIM	SIMILAR
FLR	FLOOR	SPM	SINGLE PLY MEMBRANE
FD	FLOOR DRAIN	SC	SOLID CORE
FTG	FOOTING	S	SOUTH
FND	FOUNDATION	SPEC	SPECIFICATIONS
FBO	FURNISHED BY OTHERS	SQ. FT.	SQUARE FEET
FUR	FURRING	S5TL	STAINLESS STEEL
GA	GAGE, GAUGE	STD	STANDARD
GALV	GALVANIZED	ST	SELF-TAPPING
GD	GARBAGE DISPOSAL	STL	STEEL
GC	GENERAL CONTRACTOR	STR	STORM DRAIN / SMOKE DETECTOR
GLAM	GLULAM LAMINATED BEAM	STRUC	STRUCTURAL
GL	GLASS, GLAZING	SM	SWITCH
GB	GRAB BAR	SYM	SYMMETRICAL
GND	GROUND	TEL	TELEPHONE
GWB	GYPSUM WALL BOARD	TV	TELEVISION
HGR	HANGER	THK	THICKNESS
HDR	HARDWARE	THR	THRESHOLD
HDR	HEADER	TB	TO BE DETERMINED
HTG	HEATING	T45	TO BE DETERMINED
HVAC	HEATING/VENTILATING/ AIR CONDITIONING	TOS	TOP OF SLAB
HT	HEIGHT	TSL	TOP OF STEEL
HC	HOLLOW CORE	TON	TOP OF WALL
HM	HOLLOW METAL	TR	TRANSOM
HORIZ	HORIZONTAL	T	TREAD
INCL	INCLUDED	TS	TUBE STEEL
ID	INSIDE DIAMETER	TP	TYPICAL
IBC	INSTALLED BY CONTRACTOR	UG	UNDERGROUND
IBO	INSTALLED BY OWNER	UL	UNDERWRITERS
INS	INSULATED	UNO	UNLESS NOTED OTHERWISE
INT	INTERIOR	VB	VERIFY IN FIELD
JT	JOINT	VIF	VERIFY IN FIELD
JST	JOIST	VL	VERSALAM
JC	JANITOR'S CLOSET	VERT	VERTICAL
KIT	KITCHEN	VCT	VINYL COMPOSITION TILE
LAM	LAMINATE	V	VOLTS
LVL	LAMINATED VENEER LUMBER	WD	WASHER / DRYER
LAV	LAVATORY	WC	WATER CLOSET
LH	LEFT HAND	WH	WATER HEATER
L	LENGTH / STEEL ANGLE	WFF	WELDED WIRE FABRIC
		W	WIDTH / MATTS / WEST
		WF	WIDE FLANGE
		WDM	WINDOW
		W	WITHOUT
		WD	WOOD
		WP	WATERPROOF / WEATHERPROOF

GENERAL NOTES

00-A. IT IS A CONDITION OF THESE DOCUMENTS THAT THE GENERAL CONTRACTOR COORDINATE & INTEGRATE INTO THE FINAL PROJECT ALL ADDITIONAL DOCUMENTS WITH THESE ARCHITECTURAL DOCUMENTS FOR A COMPLETE, SATISFACTORY & CODE COMPLIANT BUILDING. CONTRACTOR SHALL PROVIDE A BUDGET & SCHEDULE AS WELL AS POSSESS AN ENDORSED AGREEMENT FOR CONSTRUCTION SERVICES WITH OWNER PRIOR TO MOBILIZATION AND/OR COMMENCEMENT OF WORK.

01. DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS, FIELD CONDITIONS & UTILITY LOCATIONS ONSITE PRIOR TO SUBMITTAL OF BID PROPOSALS, ORDERING MATERIALS OR ENGAGING INTO CONTRACTS/SUBCONTRACTS.

02. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS OR NEED FOR ADDITIONAL INFORMATION IMMEDIATELY UPON DETERMINING EXISTING FIELD CONDITIONS & VERIFYING NATURE OF CONFLICT OR DISCREPANCY.

03. AREAS OF CONFLICT OR DISCREPANCY MUST BE FULLY RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT OR OWNER BEFORE CONSTRUCTION CONTINUES IN ANY AFFECTED AREA OF WORK.

04. PLAN DIMENSIONS ARE TO FACE-OF-FRAMING OR FACE-OF-CONCRETE UNLESS NOTED OTHERWISE. CROSS-SECTION & VERTICAL ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS, UNLESS NOTED OTHERWISE.

05. PROVIDE ALL NECESSARY BLOCKING IN WALL, FLOOR & CEILING CAVITIES FOR MISCELLANEOUS INSTALLATIONS NECESSARY FOR SUPPORT, BLOCKING OR MANUFACTURER/INSTALLATION INSTRUCTION WHETHER SHOWN ON THESE DOCUMENTS OR PROVIDED WITH SEPARATE DOCUMENTATION BY OTHERS.

06. IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION OF ANY ASPECTS OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY ARCHITECT. FAILURE TO GIVE AMPLE NOTICE SHALL RELIEVE THE ARCHITECT/OWNER/TENANT OF RESPONSIBILITY FOR DELAYS TO THE PROJECT OR ADDITIONAL COSTS.

07. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES & OBTAINING ALL PERMITS & REQUIRED APPROVALS. CODE COMPLIANCE IS MANDATORY. THESE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK NOT CONFORMING TO RELEVANT CODES GOVERNING THIS PROJECT.

08. GENERAL CONTRACTOR & SUBCONTRACTORS SHALL FIELD COORDINATE & OBTAIN APPROVAL FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY, IN ANY WAY, AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.

09. ALL NEW & REMODEL (WHETHER ENGINEERED OR DESIGN-BUILD) ELECTRICAL, PLUMBING & FIRE PROTECTION WORK SHALL BE COMPLETED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ALL REQUIREMENTS OF ALL CURRENT CODE & REGULATORY REQUIREMENTS ADOPTED BY THE GOVERNING MUNICIPALITY & OTHER AGENCIES HAVING JURISDICTION, INCLUDING ALL AMENDMENTS THERETO.

10. SUBSTITUTIONS OF "EQUAL" OR "EQUIVALENT" PRODUCTS MAY BE ACCEPTABLE WITH OWNER OR ARCHITECT WRITTEN APPROVAL. IN ADVANCE, THE CONTRACTOR SHALL SUBMIT DETAILS (IF NEEDED), ALL PRODUCT DATA, SPECIFICATIONS, FEATURES, OPTIONS, FINISHES, ETC. IN ORDER TO DETERMINE ACCEPTABILITY.

11. IT IS A REQUIREMENT OF THESE DOCUMENTS THAT THE CONTRACTOR & HIS SUBCONTRACTORS, VENDORS & WORKMEN, PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO PROVIDE A COMPLETE PROJECT WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

12. GENERAL CONTRACTOR & ALL TRADESPEOPLE SHALL REFER TO ALL ARCHITECTURAL / INTERIOR DESIGNERS, STRUCTURAL, ELECTRICAL, PLUMBING & ANY/ALL OTHER SPECIALTY CONSULTANT/ENGINEER DRAWINGS ATTACHED TO THESE PLANS IN ORDER TO FULLY DETERMINE THE SPECIFICATIONS FOR ALL MATERIALS USED ON THIS PROJECT. IF THERE ARE ANY CONFLICTS OR OMISSION IN THE PLANS OR SPECIFICATIONS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT AND/OR THE OWNER TO RESOLVE THE ISSUE.

13. AS A PART OF PROJECT CLOSE-OUT, THE CONTRACTOR SHALL FURNISH TO THE OWNER ALL WRITTEN & GRAPHIC MATERIALS FOR ANY & ALL EQUIPMENT, APPLIANCES, HARDWARE & SYSTEMS INCLUDING WARRANTIES, INSTRUCTION MANUALS, INSTALLERS & MANUFACTURERS NAME & ADDRESS, ALL EQUIPMENT, SYSTEMS, FIXTURES & APPLIANCES INSTALLED SHALL HAVE A MINIMUM OF A ONE (1) YEAR WARRANTY. THE CONTRACTOR FURTHER WARRANTS AGAINST FAILURE OF ALL VARIOUS SYSTEMS INSTALLED, CONSTRUCTED OR CAUSED TO BE INSTALLED FOR THE PERIOD OF ONE (1) YEAR AFTER DATE OF FULL OWNER ACCEPTANCE. SEE ATTACHED PROJECT MANUAL & CONSTRUCTION SPECIFICATIONS, IF APPLICABLE, FOR MORE DETAILS.

14. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED ELECTRONICALLY (OWNER/ARCHITECT/CONTRACTOR) BY CONTRACTOR WHO SHALL MAINTAIN AND DISTRIBUTE UPDATES OF A LOG OF ALL RFIs. THREE CALENDAR DAYS MAY BE NEEDED TO REVIEW RFIs ONCE WRITTEN RFIs ARE RECEIVED.

15. CONTRACTOR SHALL PROVIDE SUBMITTALS ELECTRONIC (OWNER+ ARCHITECT/CONTRACTOR) TO OWNER/ARCHITECT AS PRESCRIBED HEREIN. CONTRACTOR SHALL PROVIDE, PRIOR TO COMMENCEMENT OF CONSTRUCTION A PROPOSED SUBMITTAL LOG WITH ALL DATES NOTED. ARCHITECT SHALL REVIEW & REPLY TO EACH SUBMITTAL WITHIN 7 CALENDAR DAYS OF RECEIPT OF EACH SUBMITTAL. IF THE ARCHITECT REJECTS ANY SUBMITTAL FOR ANY NON-COMFORMANCE, ADDITIONAL TIME MAY BE REQUIRED FOR REVIEW. ALTERNATELY IF ALL THE ITEMS SPECIFIED MATERIALS LISTED HEREIN ARE BEING USED, CONTRACTOR MAY PROVIDE A MATERIALS LIST AND PURCHASE LIST DEMONSTRATING THAT ALL THE SPECIFIED MATERIALS ARE BEING USED IN LIEU OF SUBMITTALS.

16. ALL STRUCTURAL, FURRING AND FRAMING MATERIALS SHALL BE INSTALLED & PROTECTED TO ASSURE A WEATHER-RESISTANT EXTERIOR ENVELOPE ASSEMBLY.

17. THESE DOCUMENTS AND THE CONTRACT FOR CONSTRUCTION ARE ALL COMPLEMENTARY AND REQUIREMENTS OF THE CONTRACT.

DRAWING INDEX:

- T1.0 TITLE SHEET
- A2.0 DETAILS LOCATION ELEVATION
- A2.1 TOWER DETAILS

GENERAL DEMOLITION NOTES:

THE FOLLOWING IS PROVIDED TO ASSIST WITH COORDINATION WITH BUILDING DEPARTMENT AND TO COMPLY WITH STANDARD OF CARE AND INSURANCES IN PLACE FOR ALL DEMOLITION WORK. SEE SHEETS A5.0 FOR COMPLETE DEMOLITION NOTES.

1. A SCHEDULE FOR DEMOLITION, AS REQUIRED BY INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED BY CONTRACTOR WITH A COPY TO OWNER & ARCHITECT. NO DEMOLITION WORK SHALL BE COMMENCED UNTIL WRITTEN APPROVAL IS RECEIVED BY BUILDING OFFICIAL.
2. CONFIRM ALL REQUIREMENTS WITH BUILDING OFFICIAL FOR PEDESTRIAN PROTECTION, PER IBC SECTION 3306 & TABLE 3306.1.
3. MAINTAIN EXISTING MEANS OF EGRESS WITHIN AND AROUND BUILDINGS AS REQUIRED.
4. WHERE REQUIRED FOR DEMOLITION OR OTHER PROJECT REQUIREMENTS, SERVICE UTILITIES, FIRE PROTECTION & POWER SHALL BE DISCONNECTED AND GAPPED IN STRICT ACCORDANCE WITH THE APPROVED REGULATIONS AND REQUIREMENTS OF UTILITY DISTRICTS AND ALL PERTINENT CODES. THIS SHOULD NOT INCLUDE SERVICES WITHIN INDIVIDUAL UNITS.
5. PROTECT ALL WALL RATINGS & FLOOR/CEILING ASSEMBLIES TO THEIR FULL INTEGRITY. ADVISE THE ARCHITECT OF ANY CONCEALED BREACHES DISCOVERED IN THE PROCESS OF DEMOLITION SO AS TO ACCOMMODATE RESTORATION AND COSTS.
6. PROTECT ALL MECHANICAL DUCTS FROM DUST, DEBRIS OR FOREIGN MATERIALS THAT COULD IMPEDE CURRENT OR FUTURE CLEAN AIR OR DISRUPT ADJACENT OPERATIONS.
7. CONTROL & KEEP ALL COMMON AREAS, OUTDOOR AREAS & PUBLIC AREAS FREE OF ALL DUST, DEBRIS, & MATERIALS FOR THE DURATION OF DEMOLITION & NEW CONSTRUCTION. PROPER TRASH REMOVAL SHALL BE COORDINATED IN ADVANCE WITH PROPERTY MANAGER.

BUILDING CODE

- BLDG CODE EDITION: -
- ZONING DESIGNATION: -
- OCCUPANCY GROUP: -
- CONSTRUCTION TYPE: -
- NO. OF STORIES: -
- NON-SPRINKLERED: -

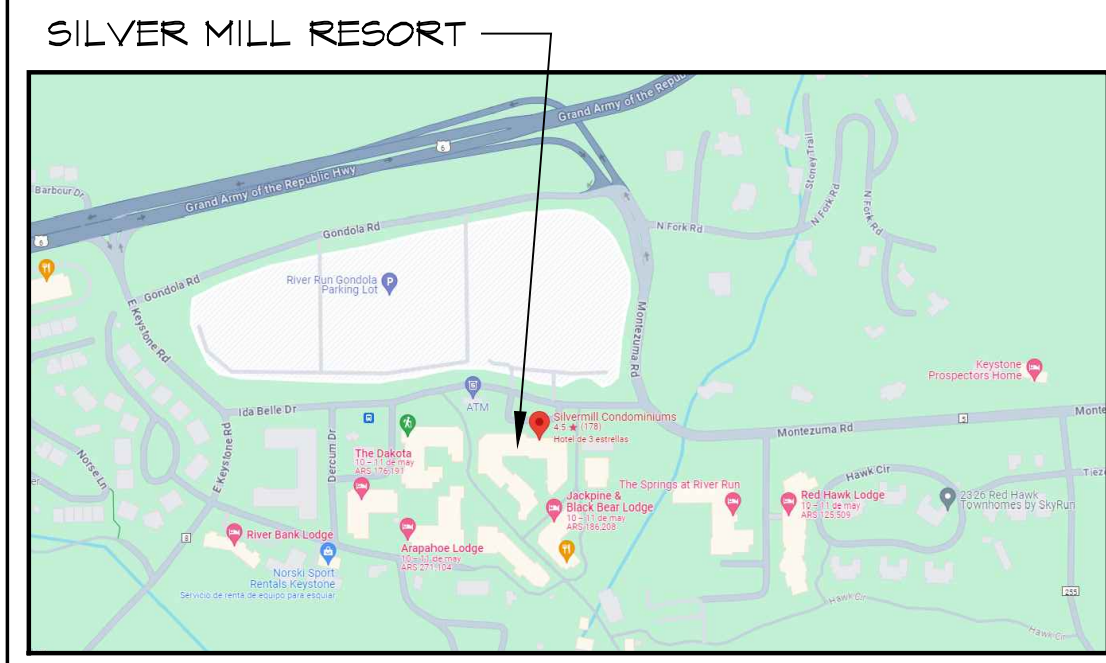
OWNER / AGENT:

DENNIS MCWHARTER - BOARD PRESIDENT
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PHONE: 720.412.8775
EMAIL: PRESIDENT.SILVERMILL@GMAIL.COM

ARCHITECT:

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E-MAIL: CHRIS@VMDA.COM

PROJECT LOCATION MAP:



PROJECT DESCRIPTION:

EXTERIOR PAINTING
TOWER SIDING REPLACEMENT, INSTALL OF NEW METAL SIDING

PERMIT SET

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REVISION		DATE	07/22/2024
JOB NO.	2319	TITLE SHEET	
SHEET NO.	T1.0		

T2 2 T1

N TA TB

T1 2 T2 T3



VICTOR MARK DONALDSON
 ARCHITECTURE
 PLANNING
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 SINCE 1977
ARCHITECTS

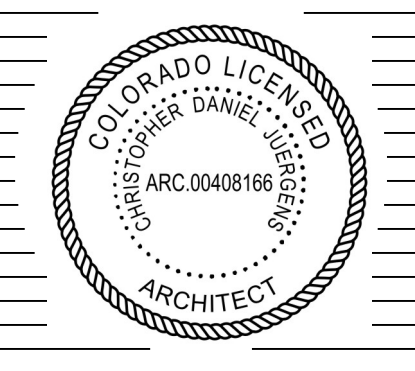
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 F (303)925-3736

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SILVER MILL
 At River Run Village
 Keystone, Colorado

TOWER RE-SIDING DETAILS
SILVER MILL RESORT
 140 IDA BELLE DR
 KEYSTONE, COLORADO 80435

MILL 19 WF
 ISSUE: 6/14/96
 FINAL CD SET
 REVISIONS:

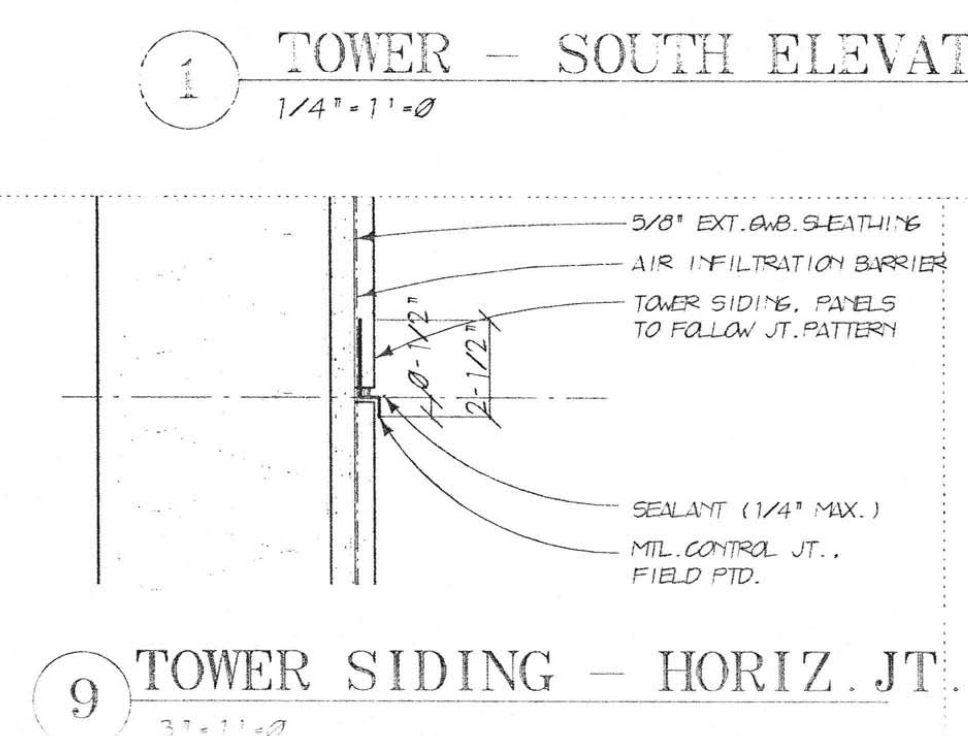
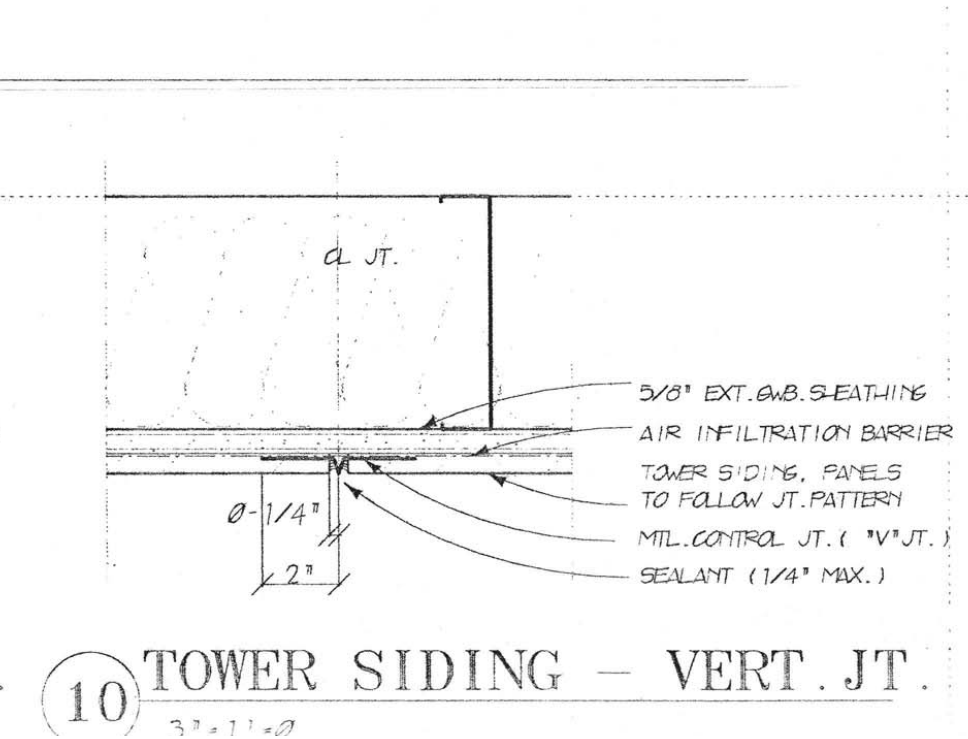
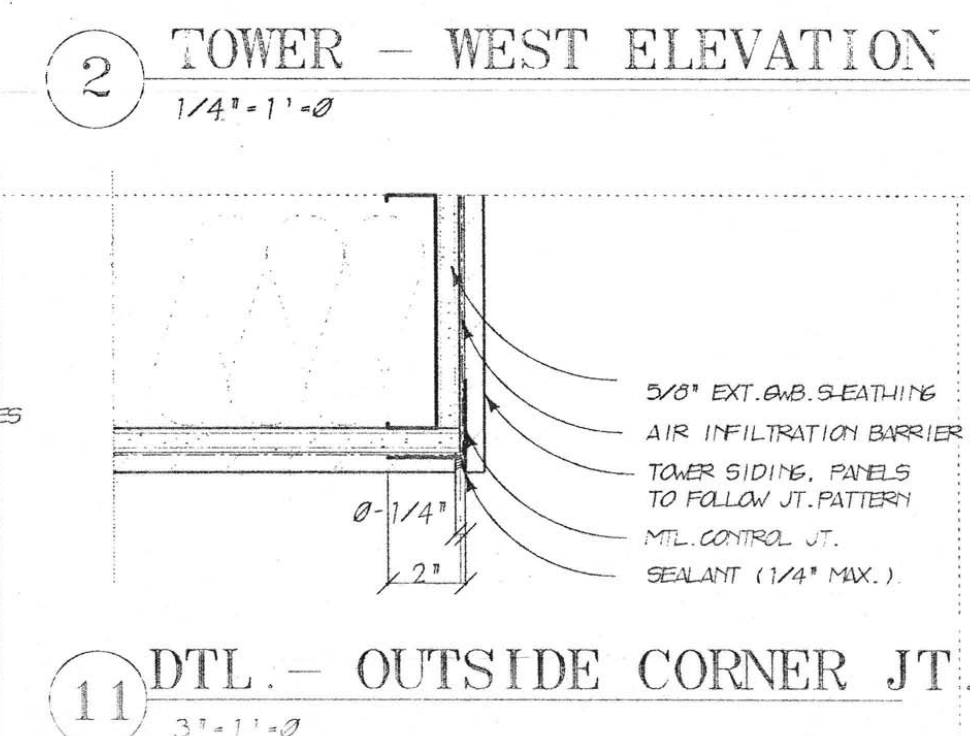
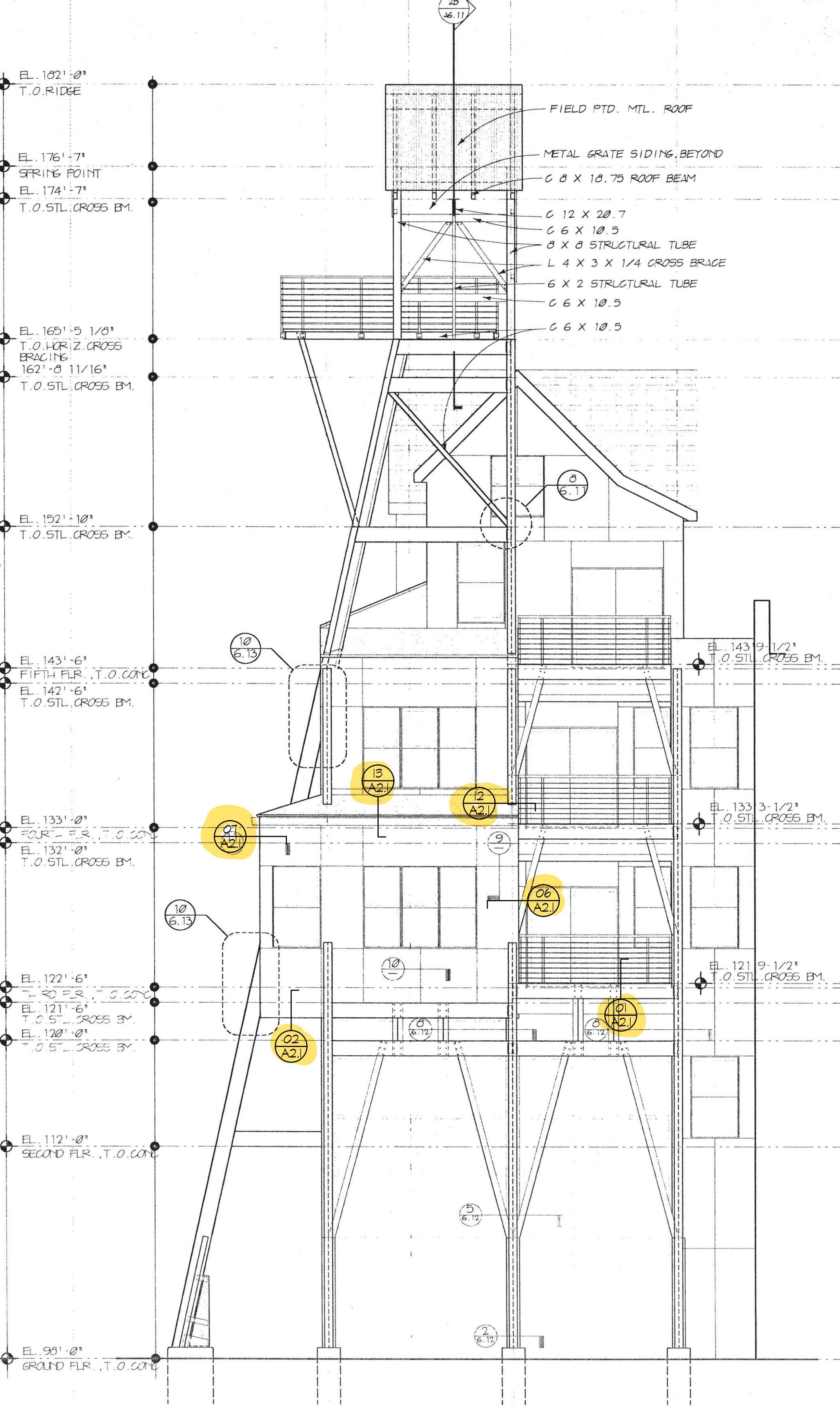
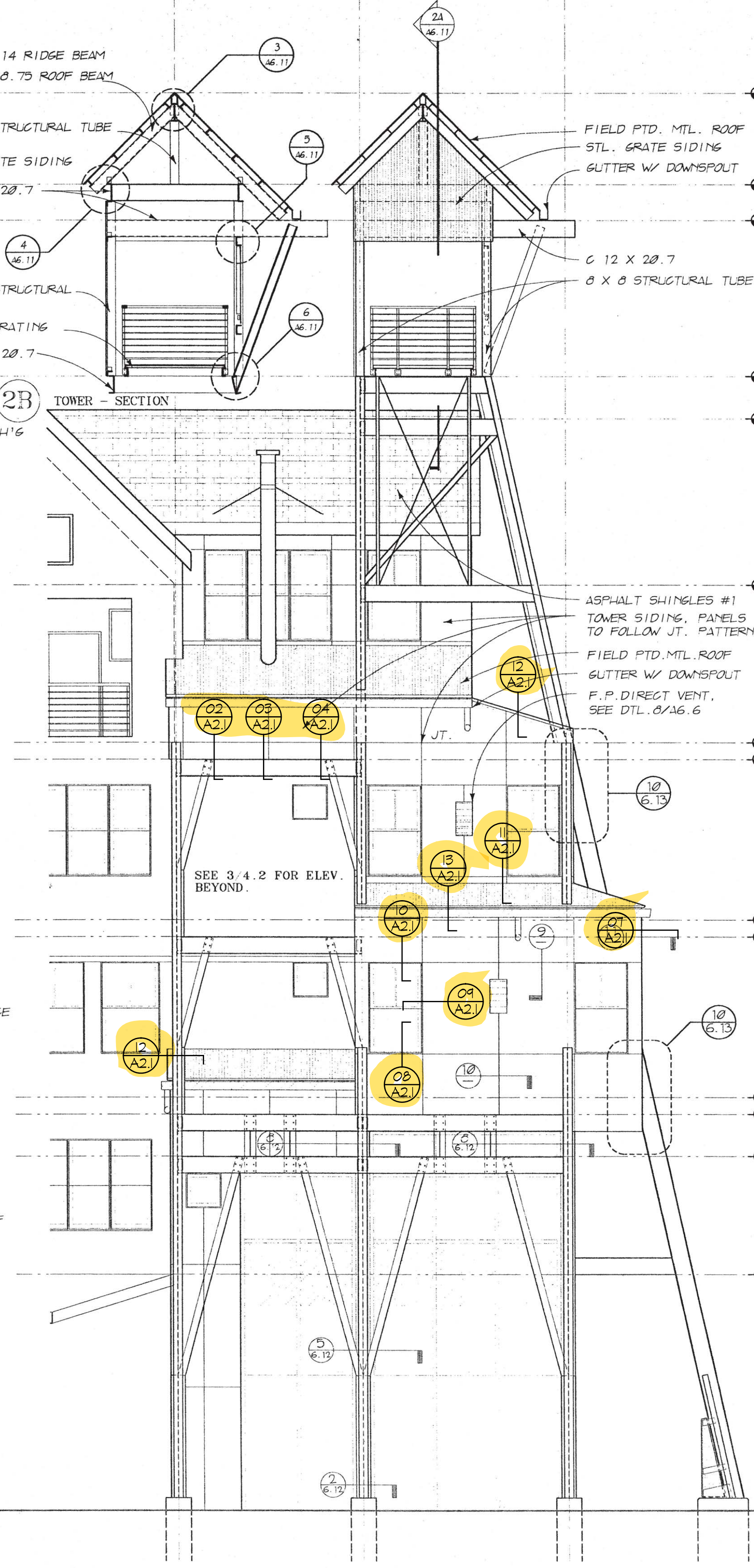
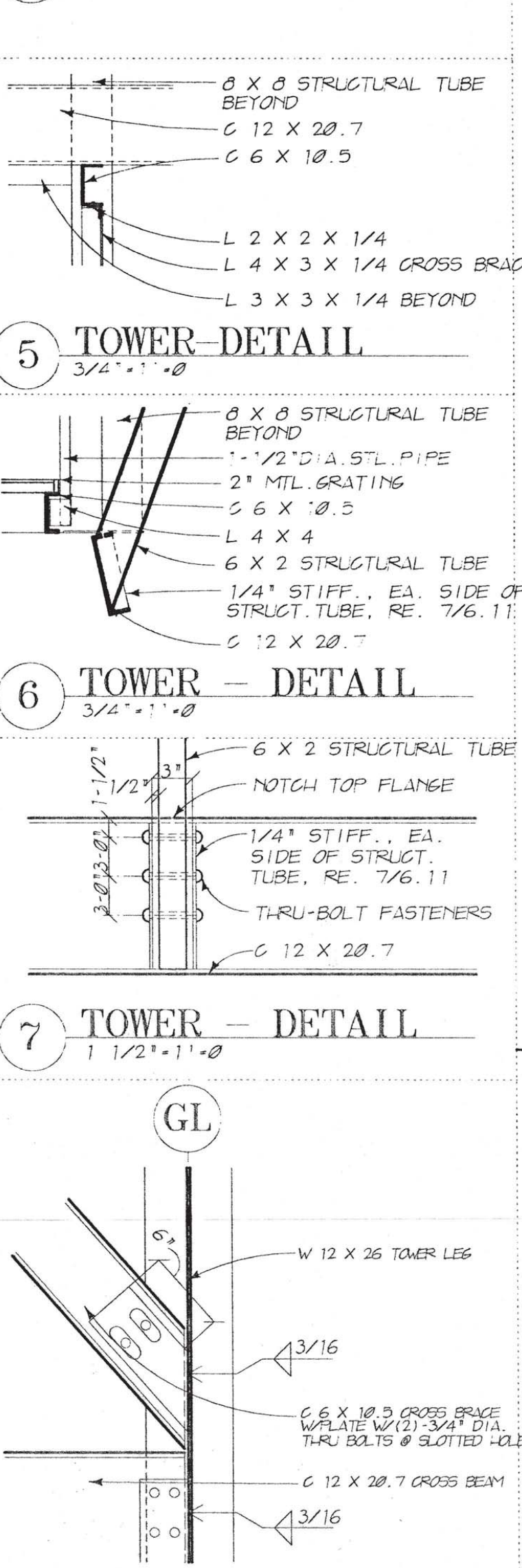
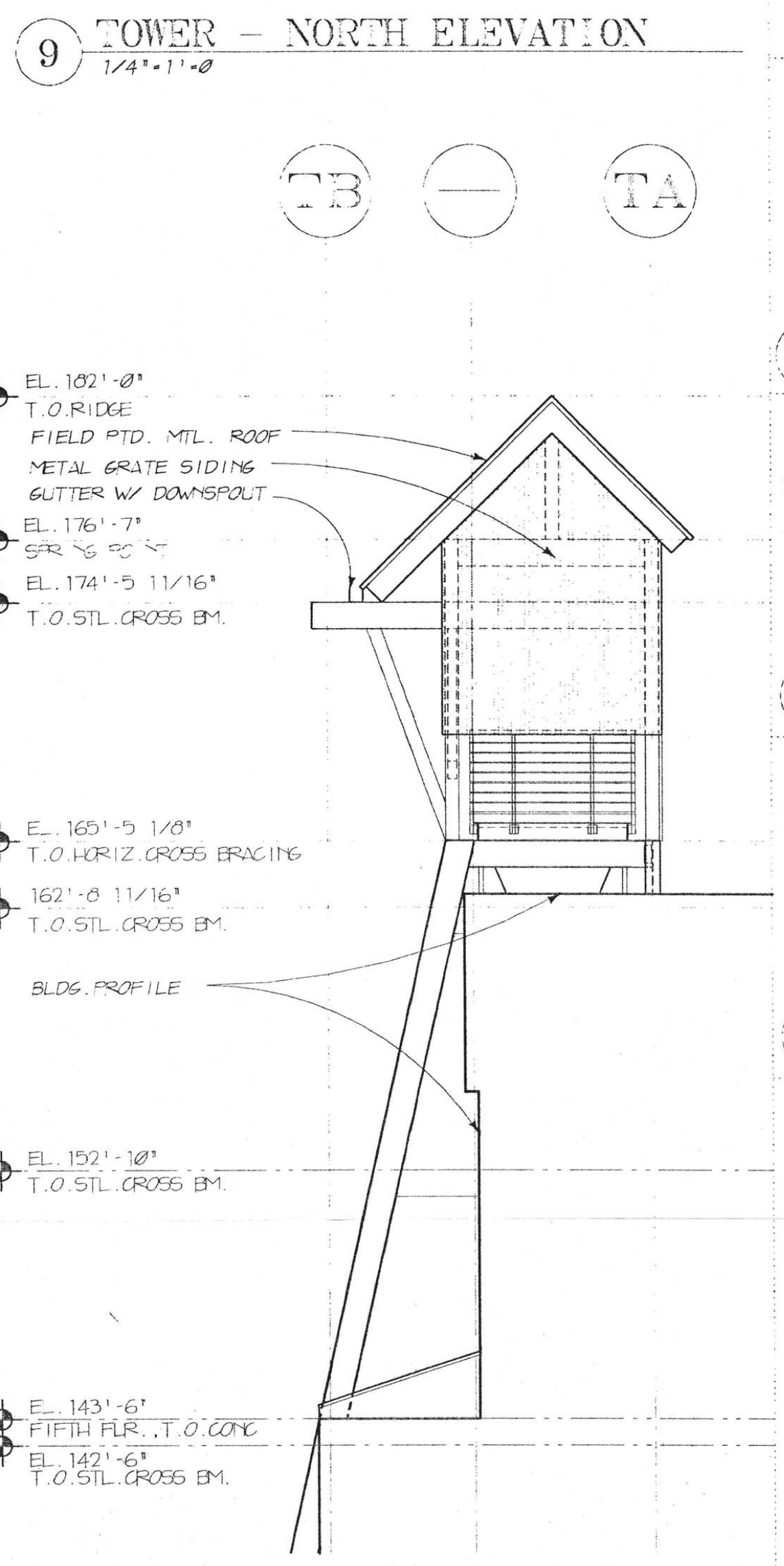
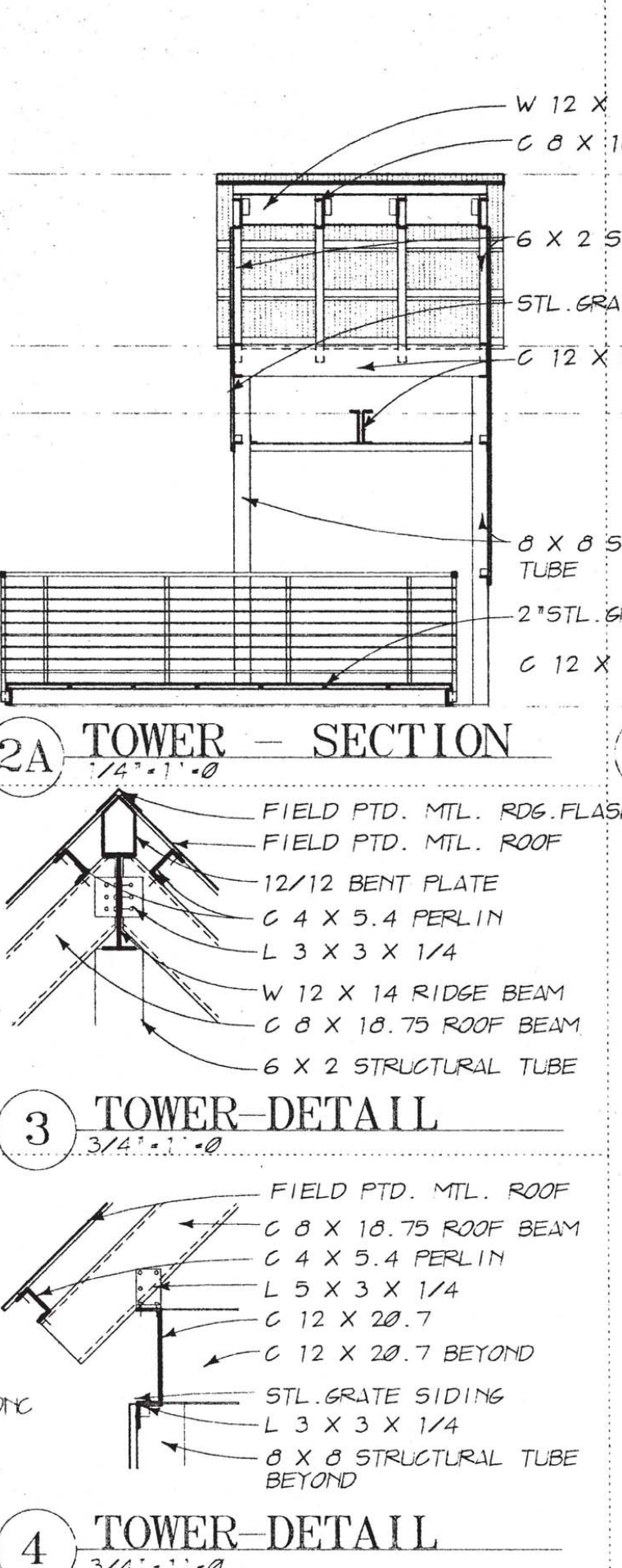
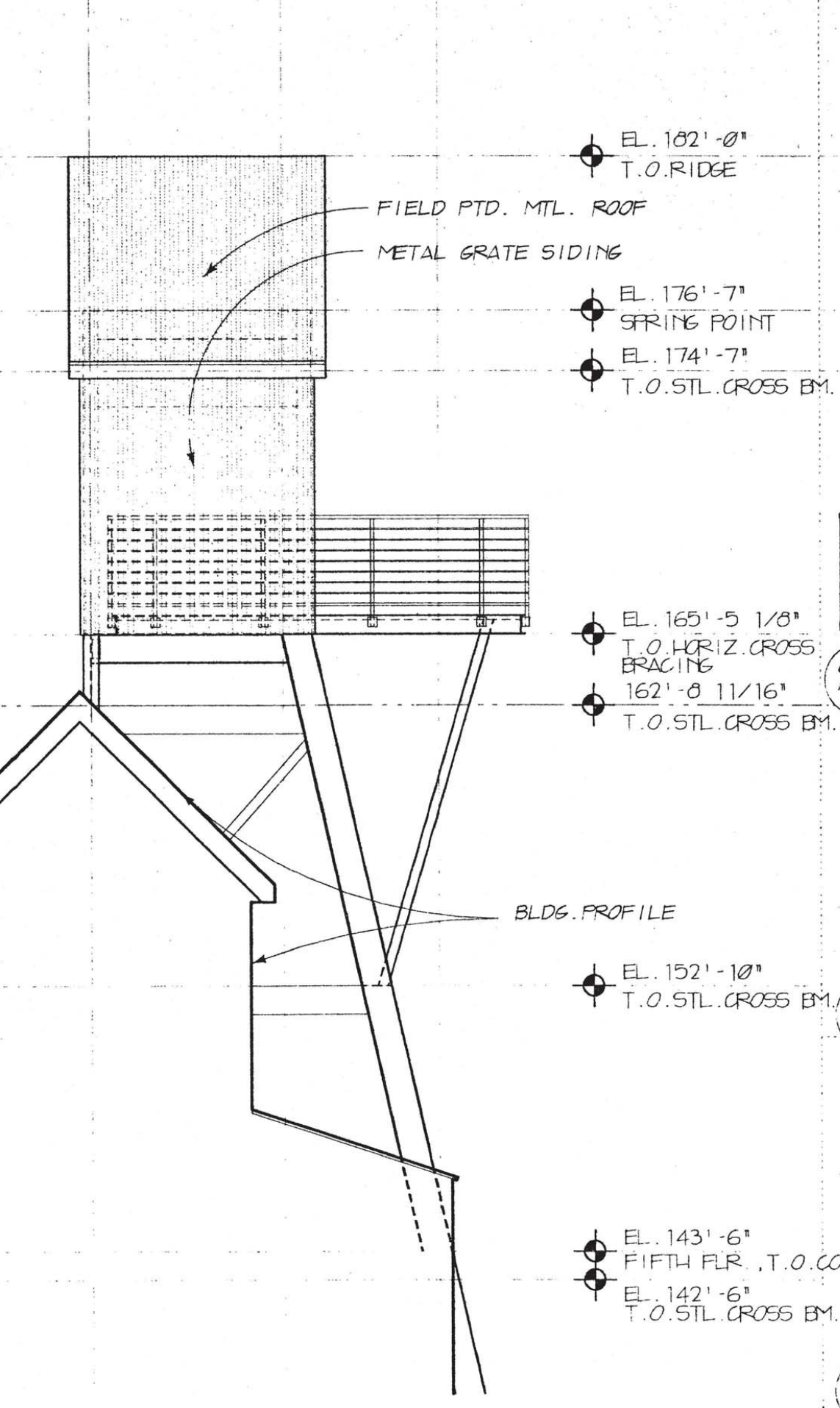
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REVISION	DATE
	07/22/2024
	2319

DETAILS LOCATION
 ELEVATION

SHEET NO. **A2.0**

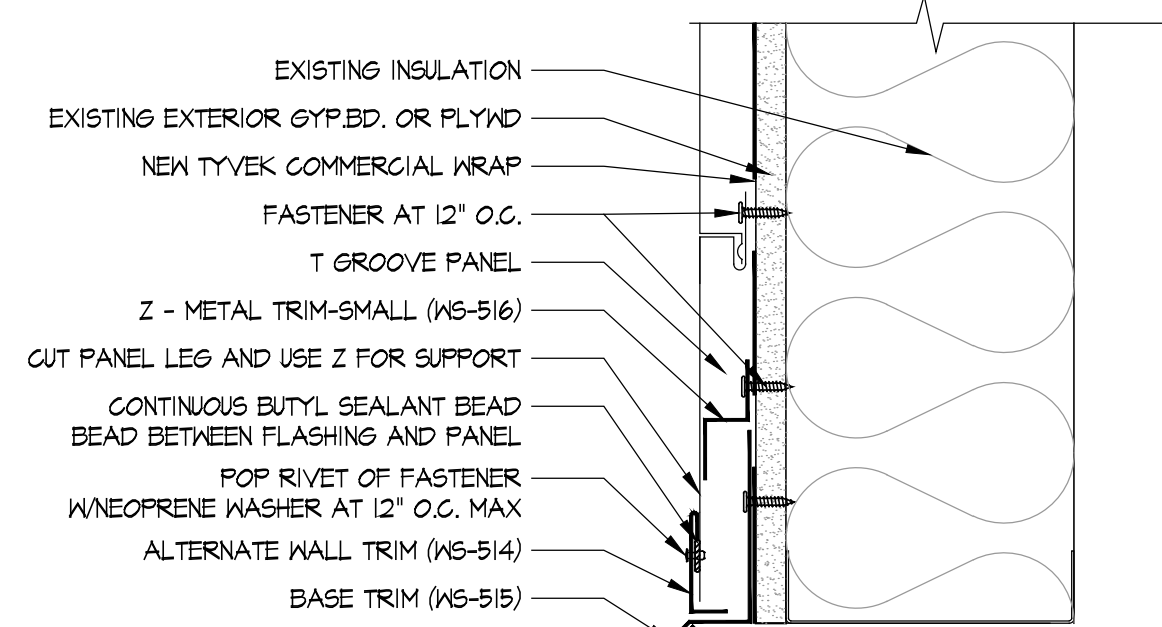


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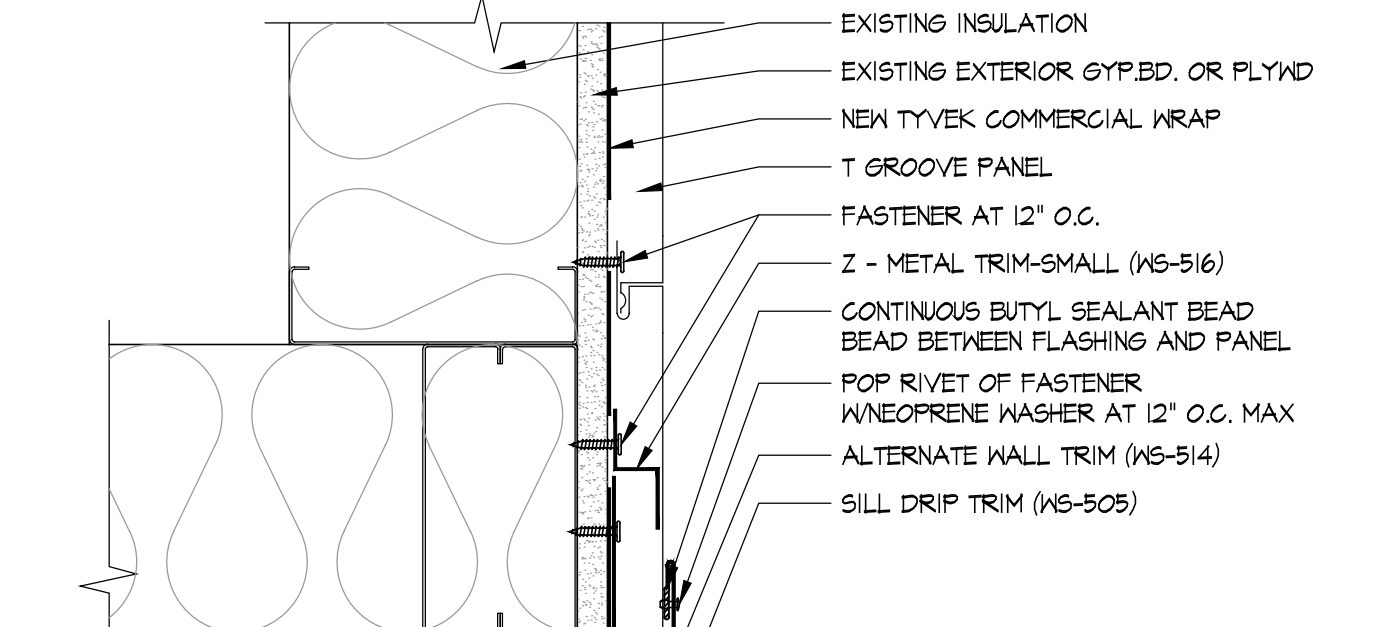
1. ALL ARCHITECTURAL STL. DTL'S ARE TO BE WELDED CONNECTIONS U.N.O.

TOWER DETAILS
 DRAWN BY: EGA
 CHECKED BY: RJS
 SCALE: VARIES

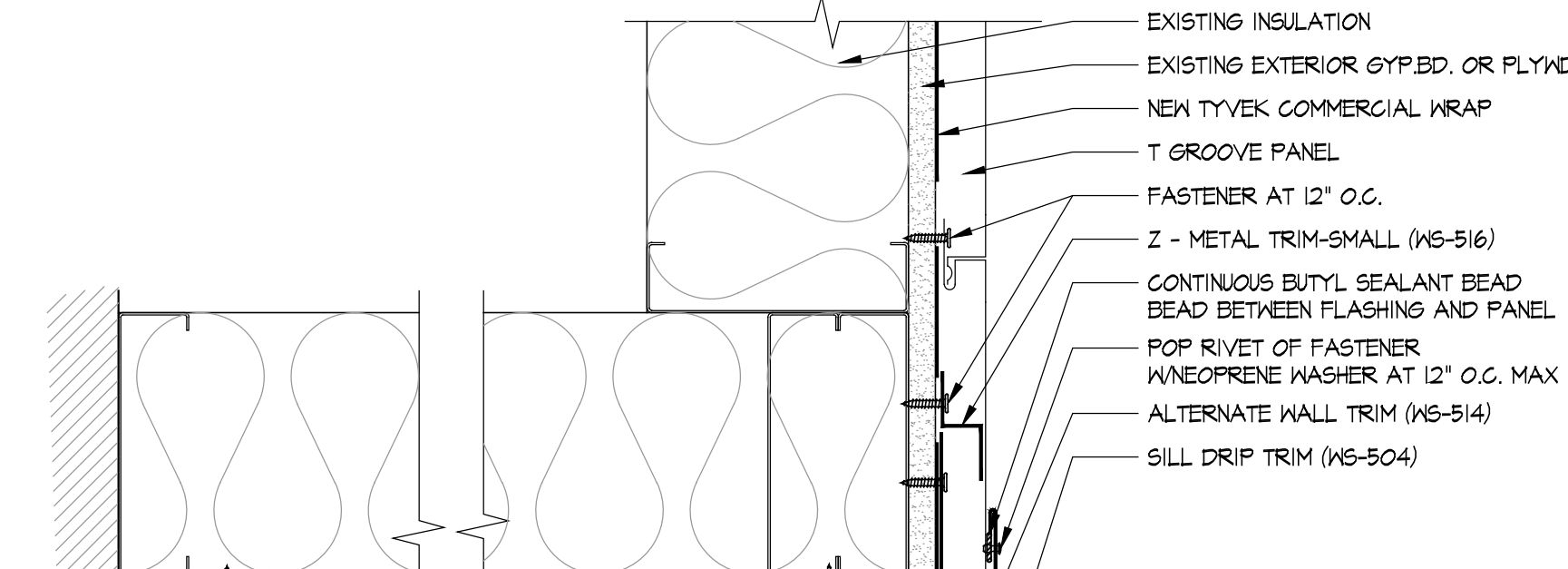
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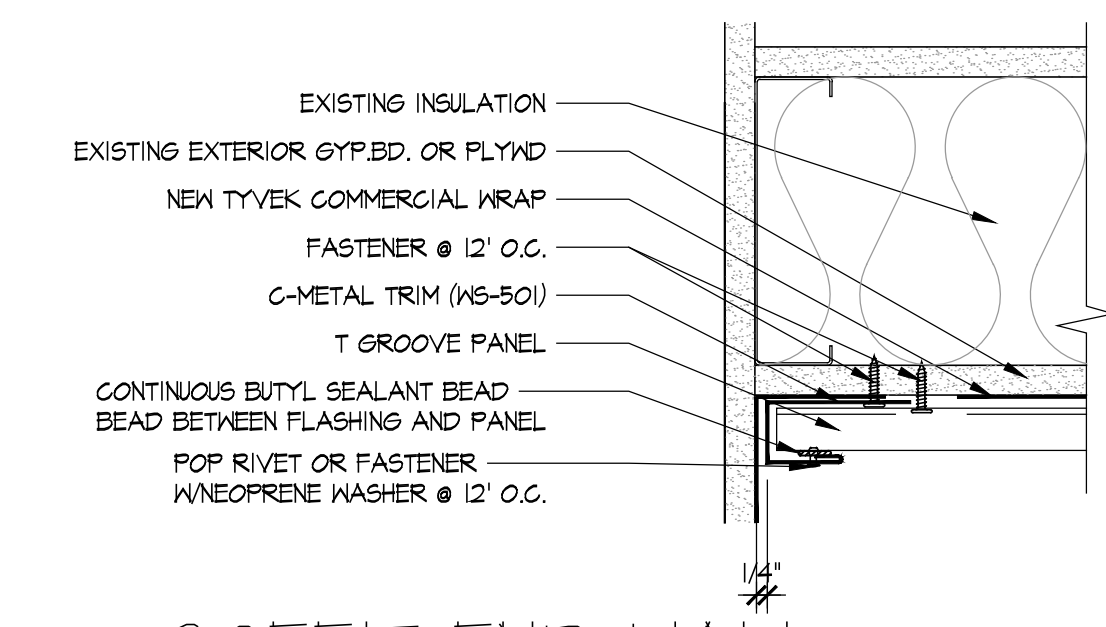
01 BASE TRIM
SCALE: 3" = 1' - 0"



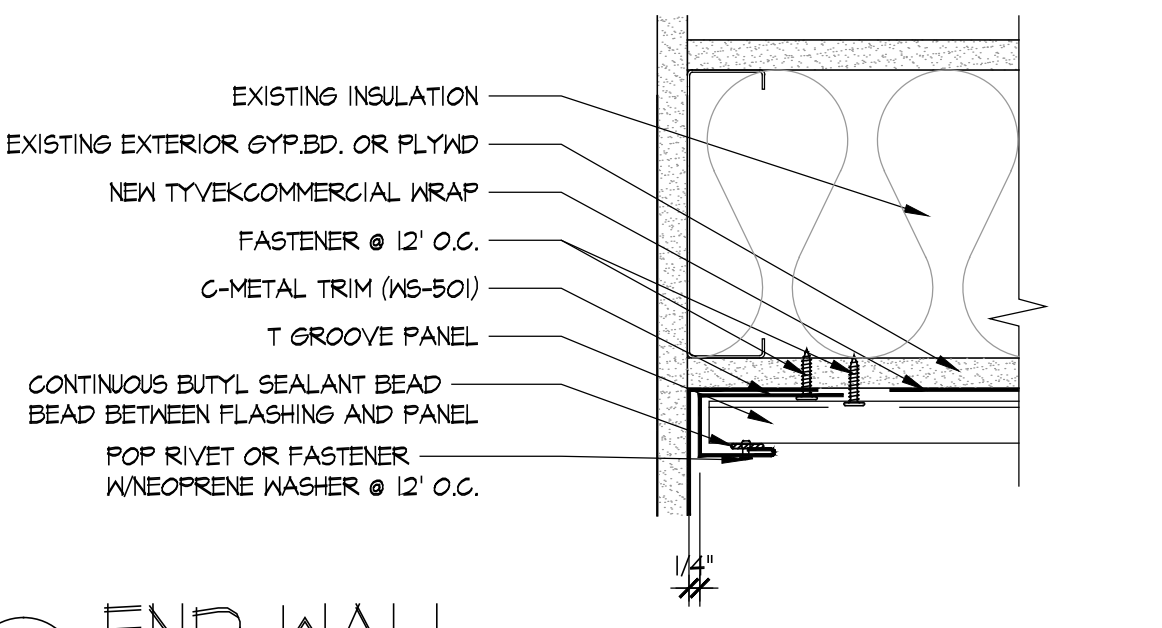
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SCALE: 3" = 1' - 0"



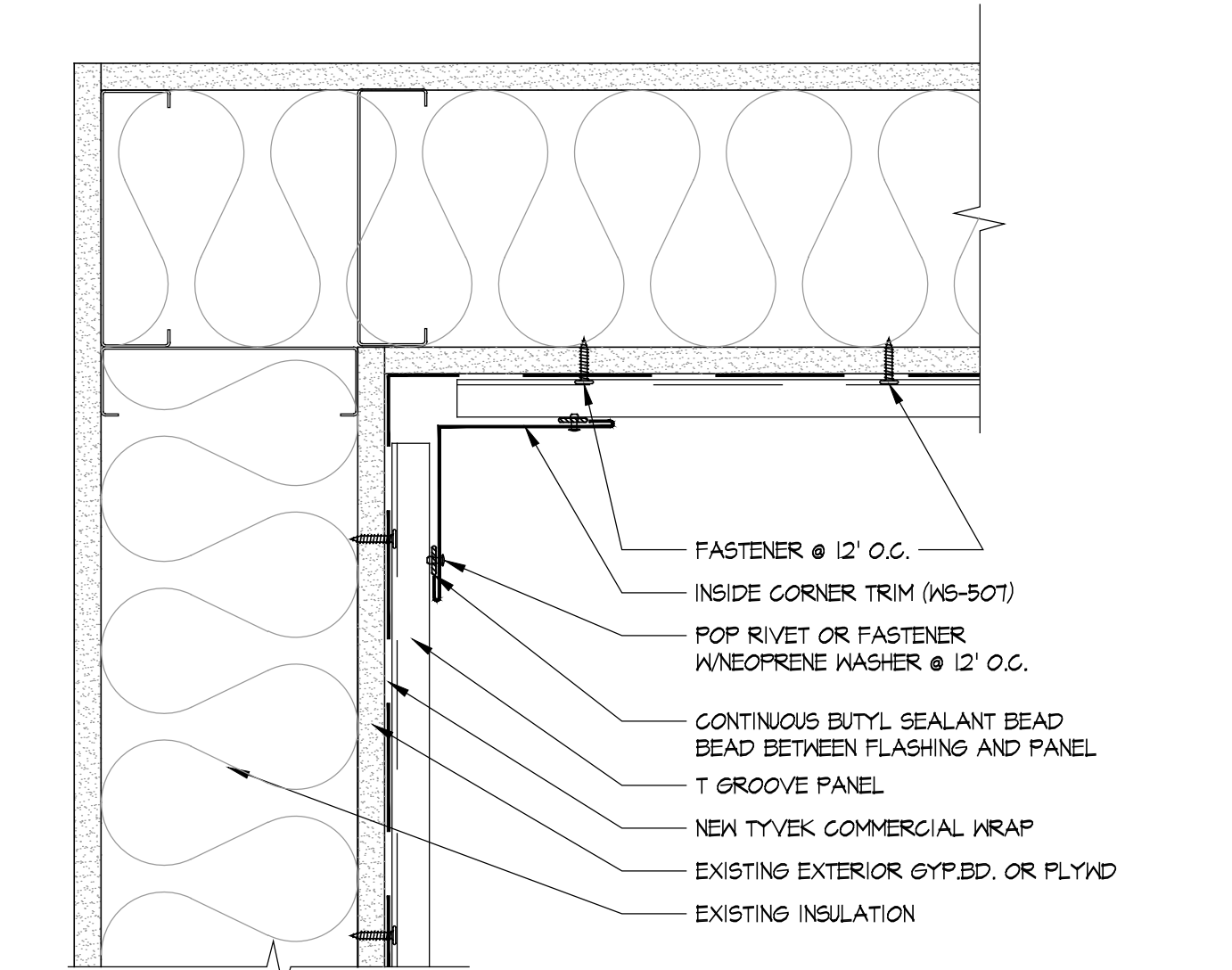
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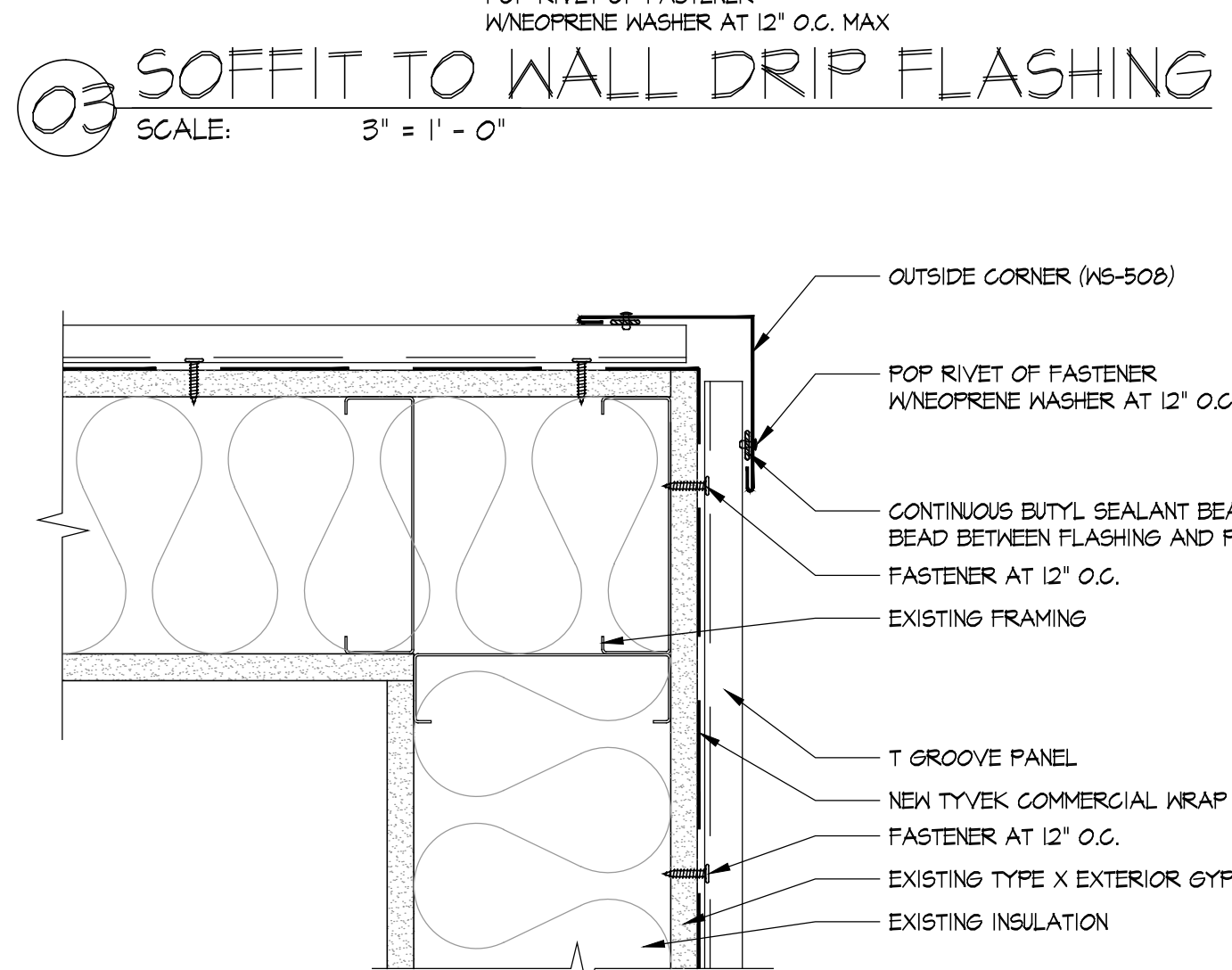
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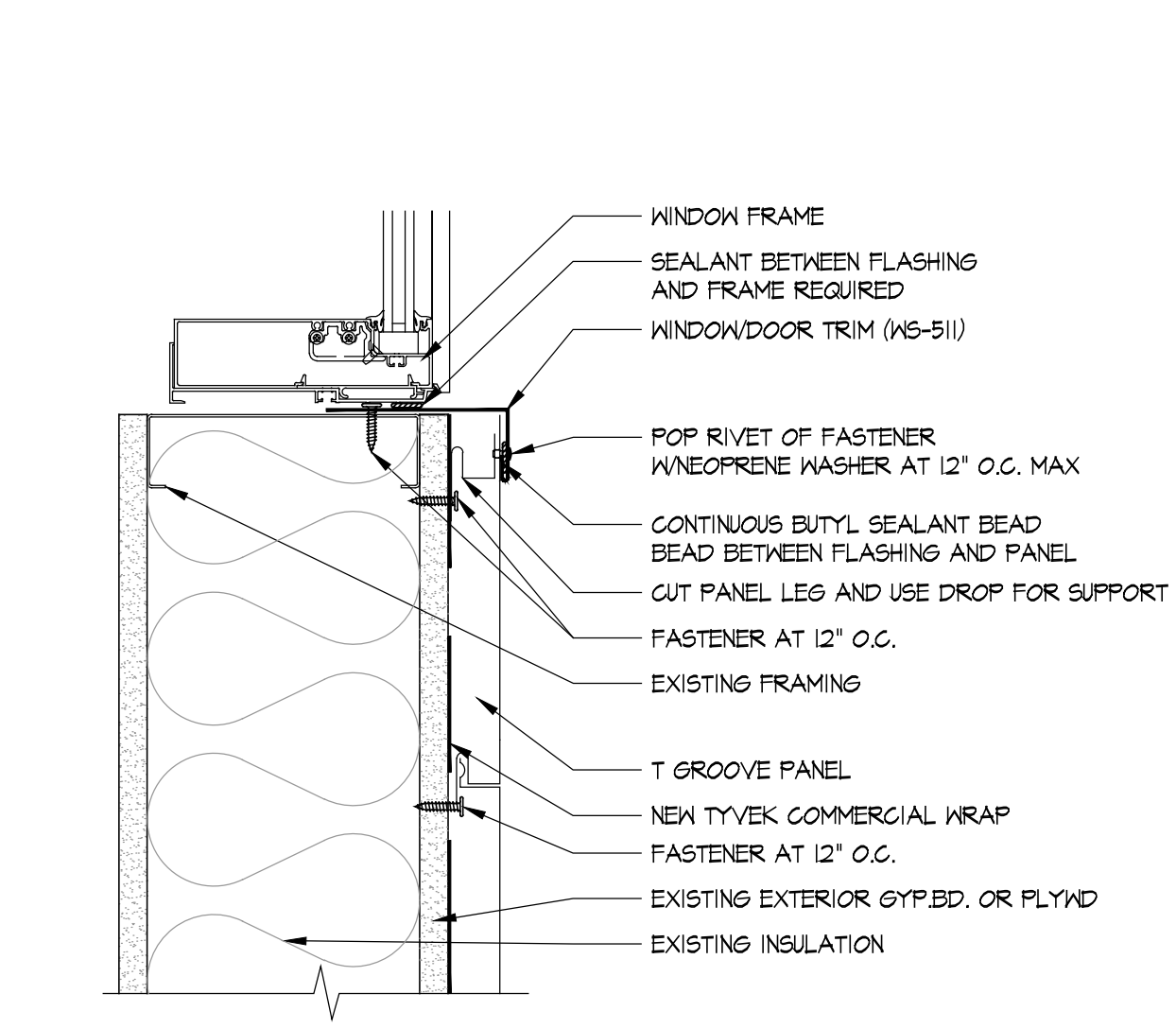
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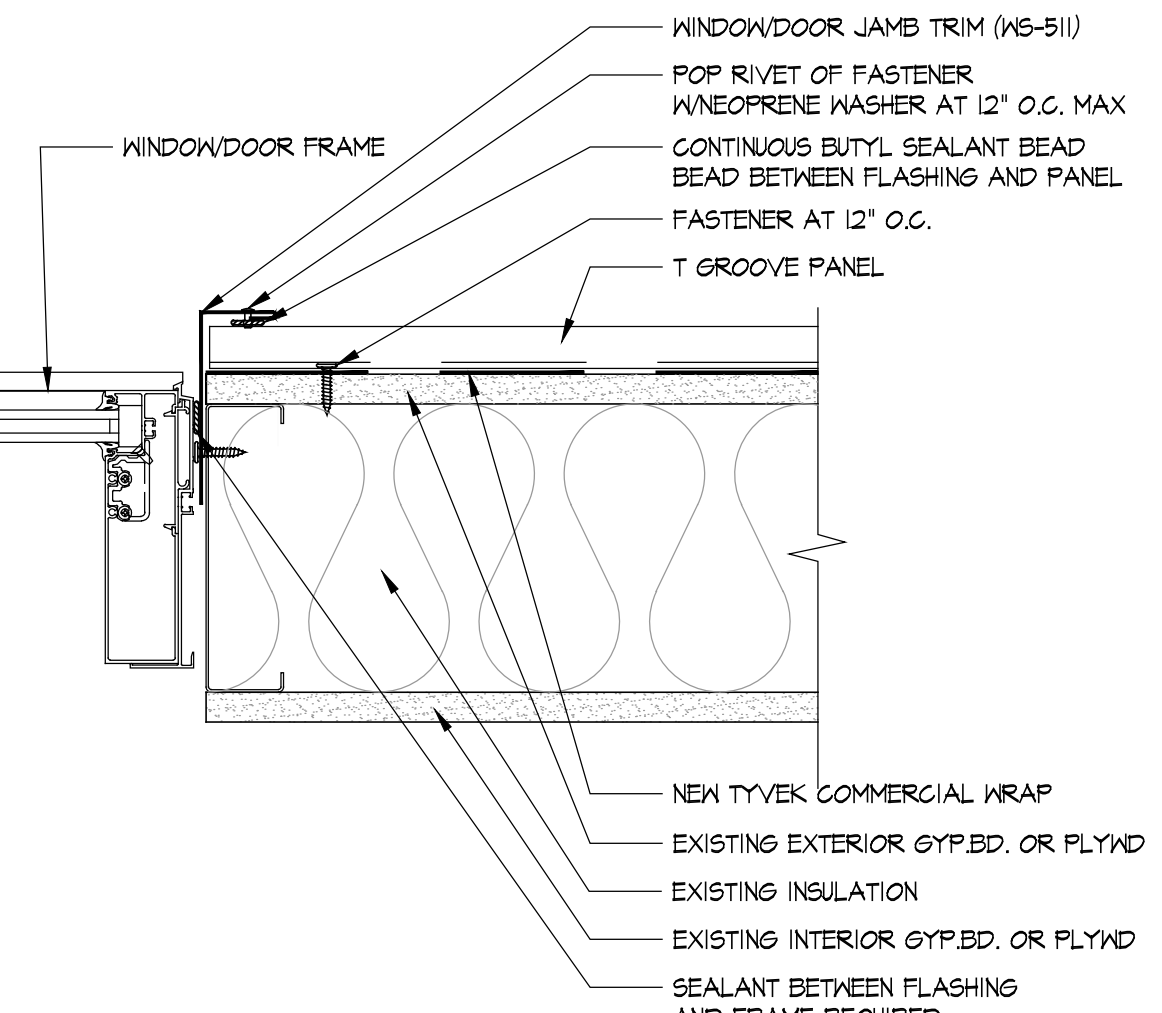
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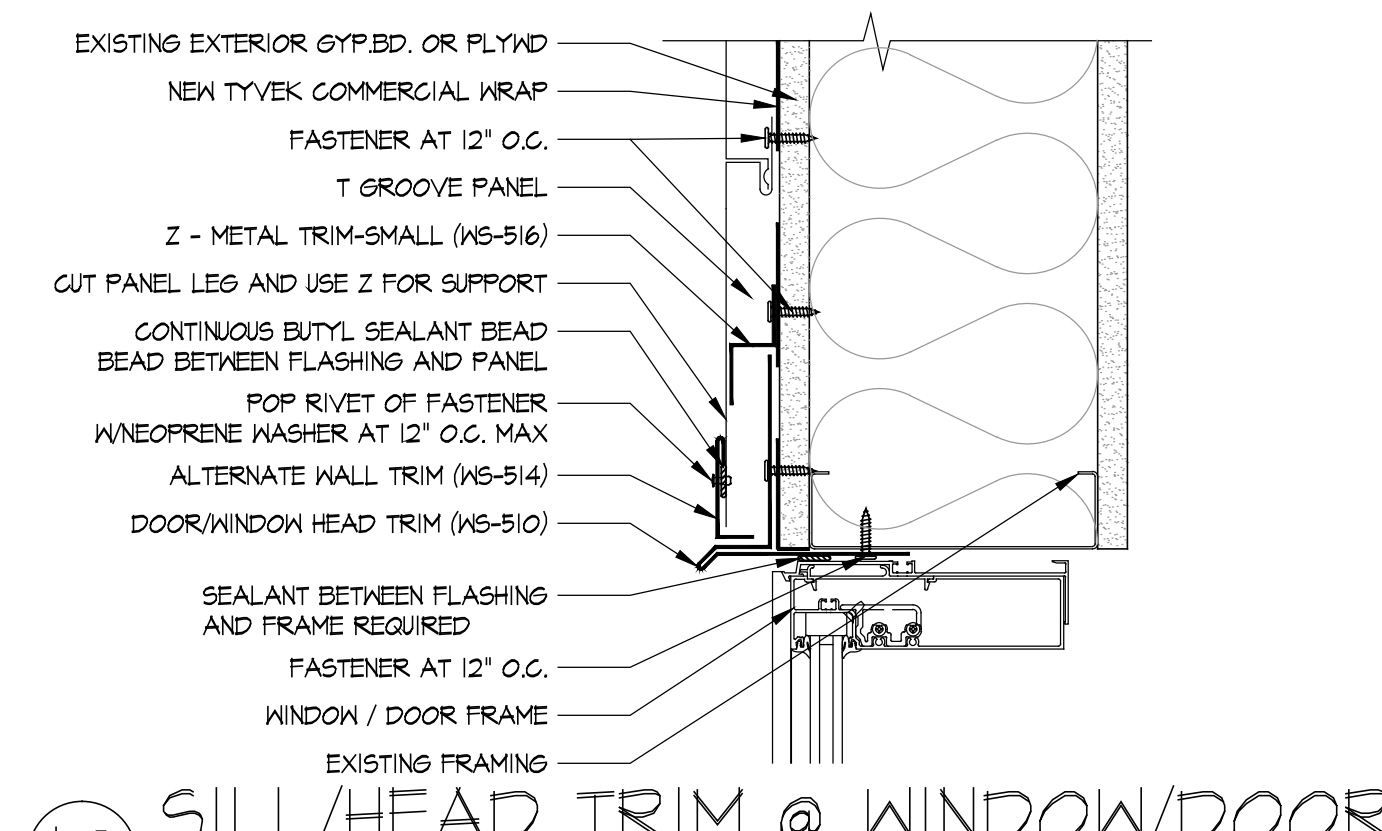
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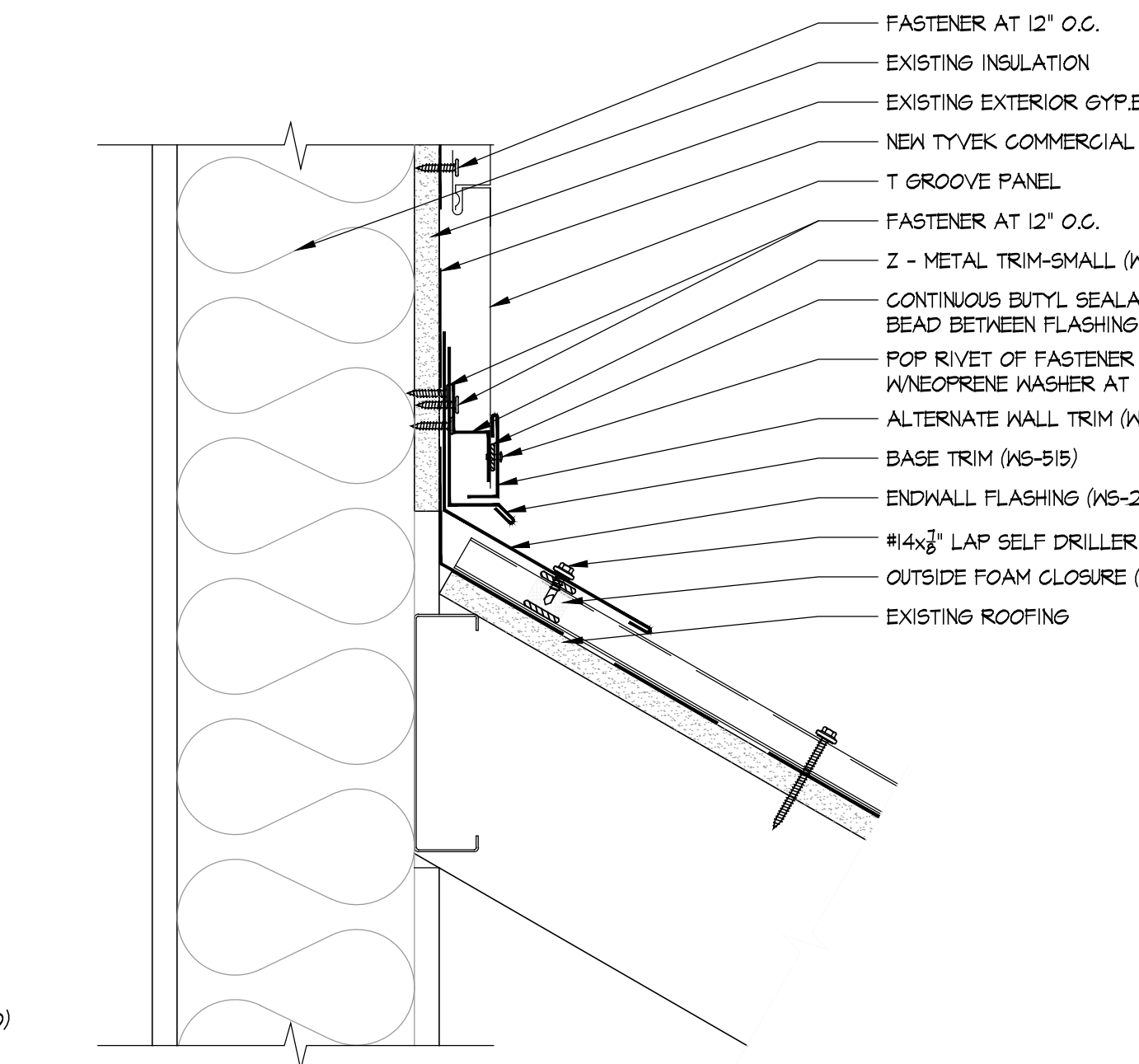
08 SILL TRIM @ WINDOW/DOOR
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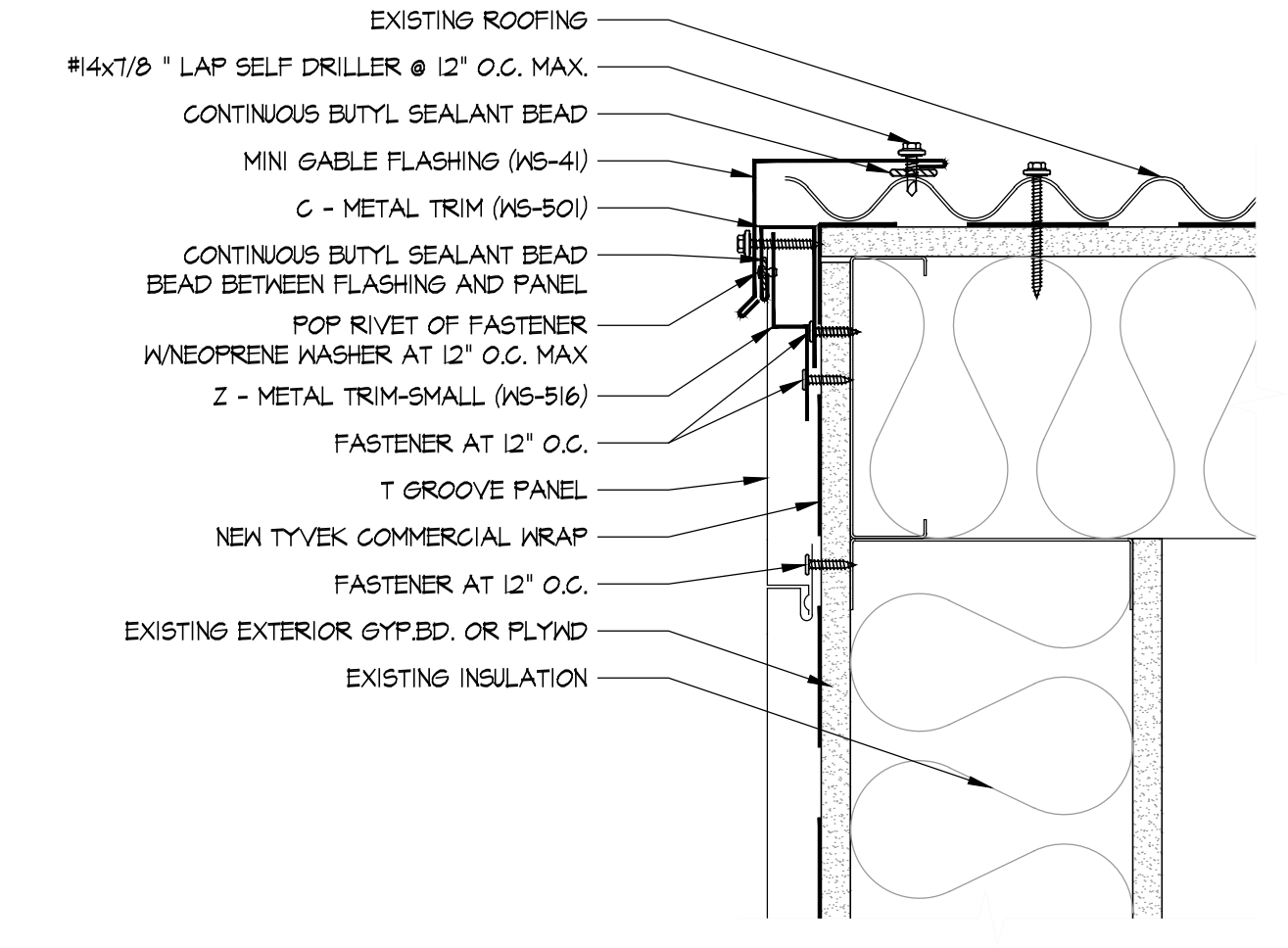
09 JAMB TRIM @ WINDOW/DOOR
SCALE: 3" = 1' - 0"



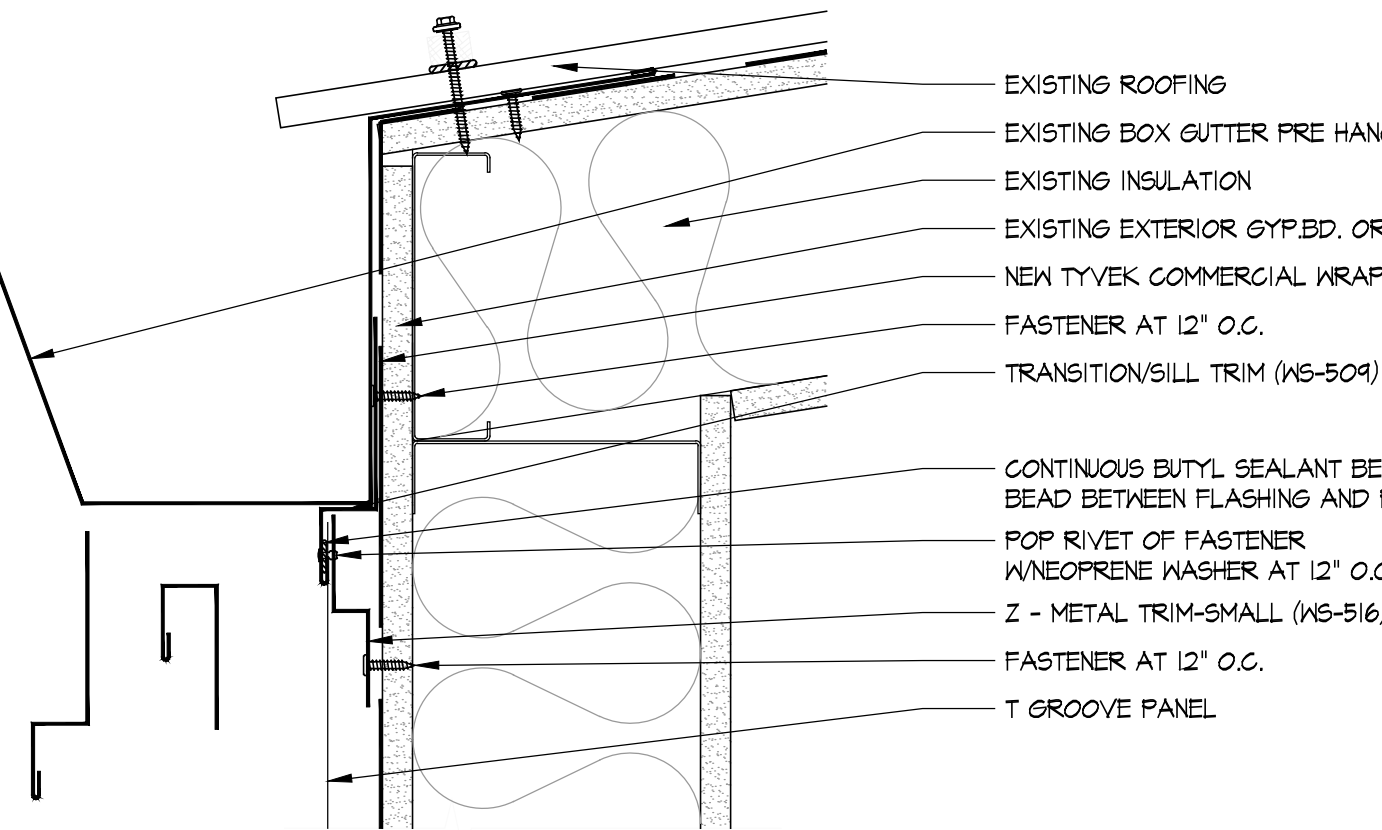
10 SILL/HEAD TRIM @ WINDOW/DOOR
SCALE: 3" = 1' - 0"



11 ENDWALL FLASHING
SCALE: 3" = 1' - 0"



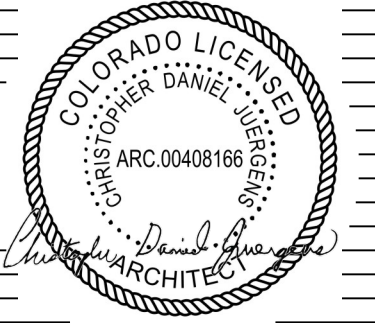
12 ROOF @ RAKE
SCALE: 3" = 1' - 0"



13 ROOF AT EAVE
SCALE: 3" = 1' - 0"



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TOWER RE-SIDING DETAILS
SILVER MILL RESORT
140 IDA BELLE DR
KEYSTONE, COLORADO 80435

PERMIT SET

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REVISION	
DATE	07/22/2024
JOB NO.	2321
PROPOSED TOWER DETAILS	
SHEET NO.	A2.1