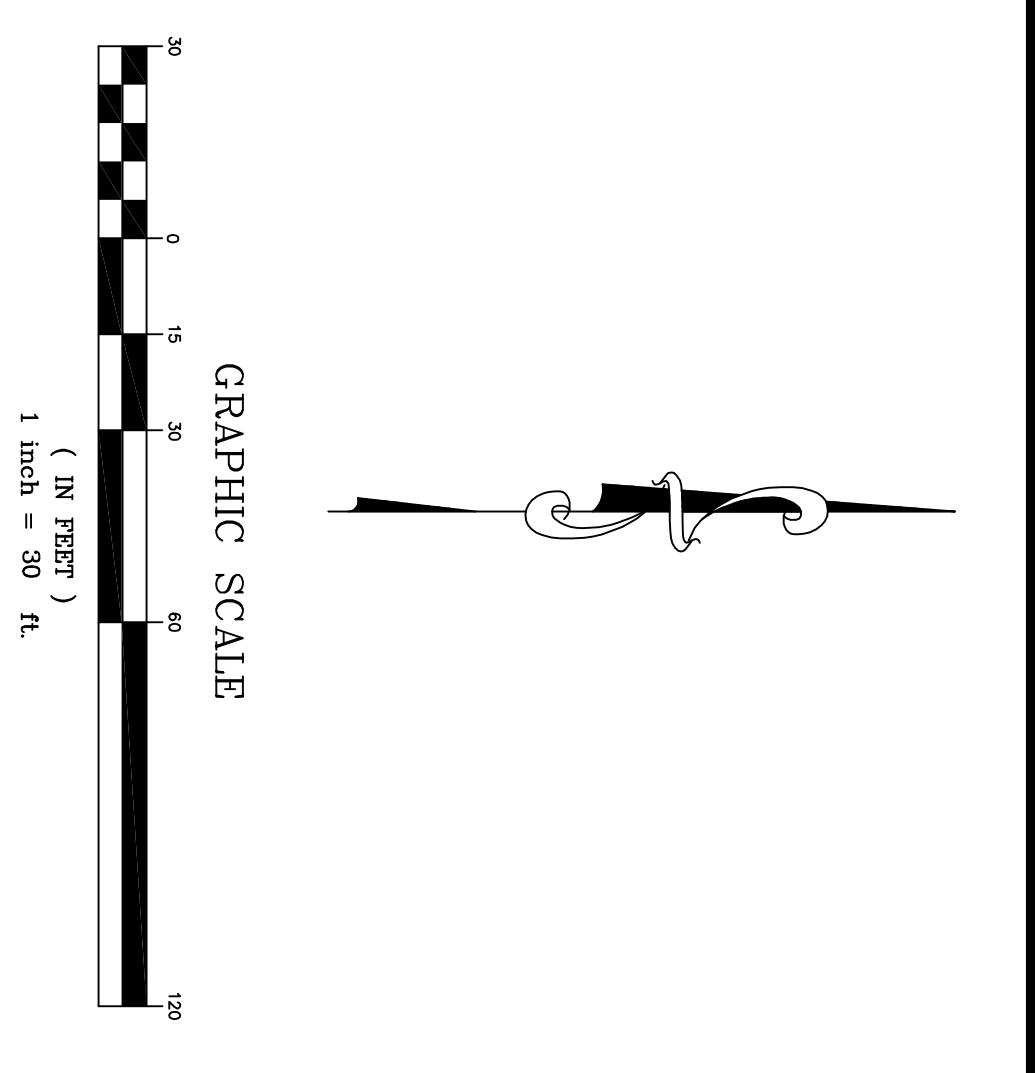
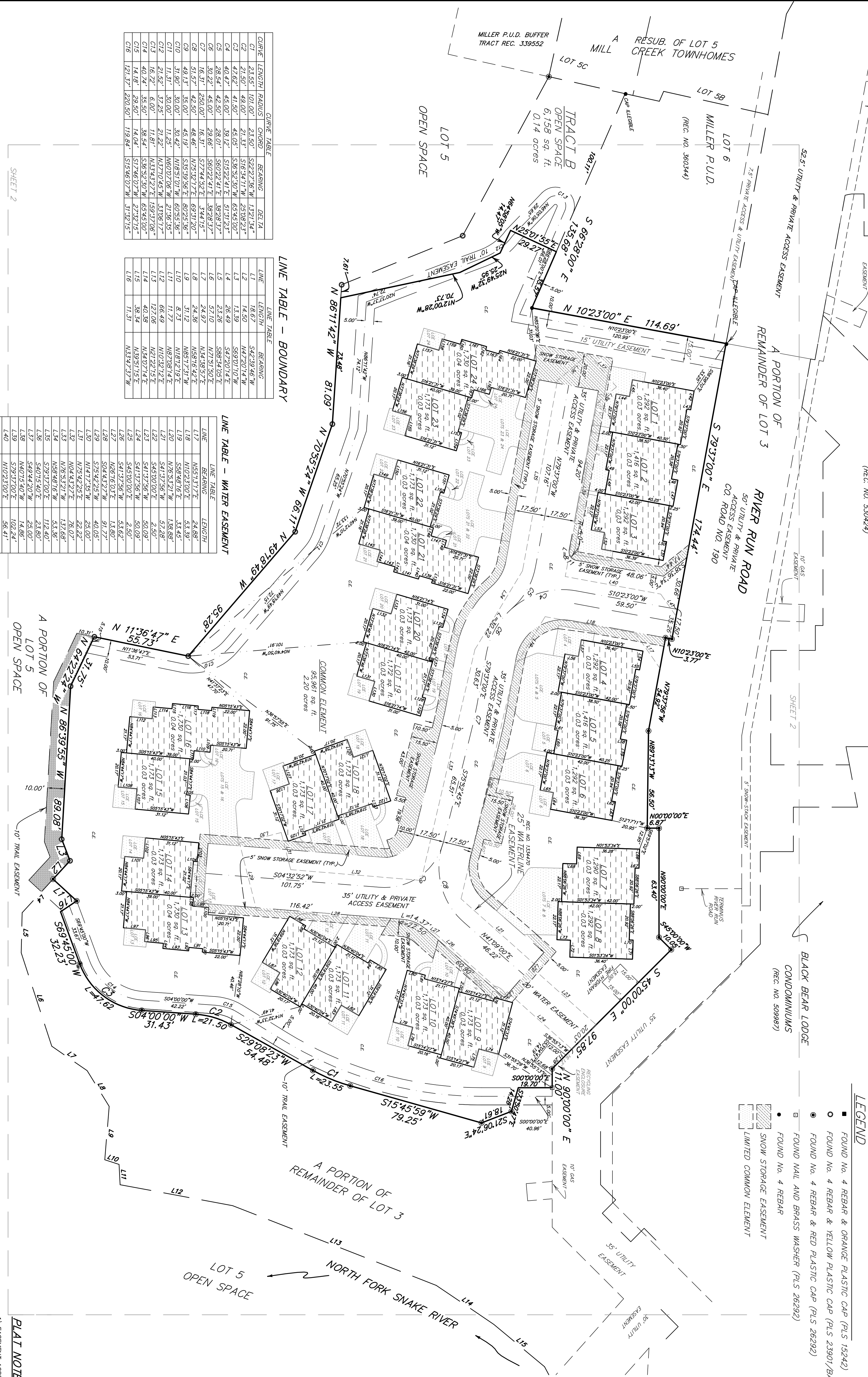
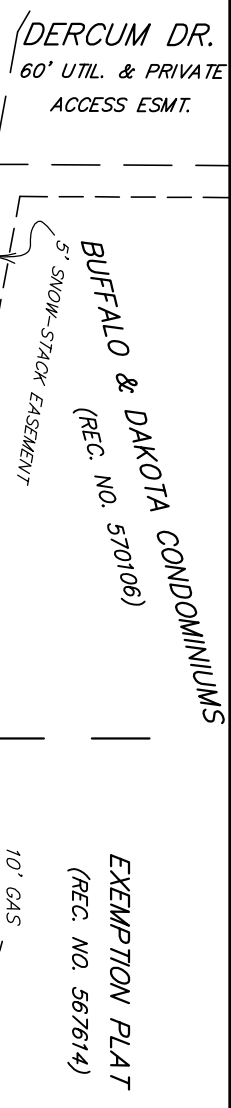
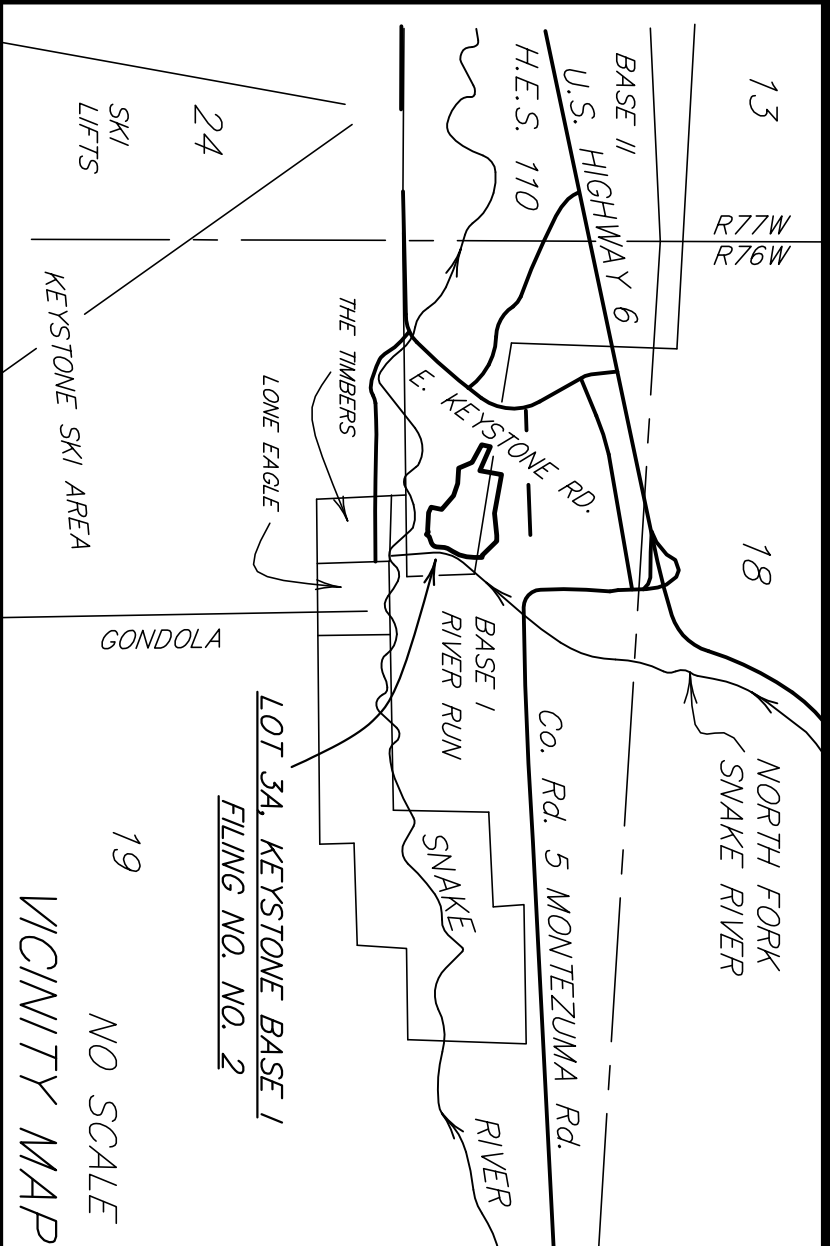


ALCOVE TOWNHOMES

A RESUBDIVISION OF LOT 3A, KEYSTONE BASE 1, FILING NO. 2 ACCORDING TO THE PLAT RECORDED 11/23/2022 AT RECEPTION NO. 1307165 LOCATED IN THE N.W. 1/4 OF SECTION 19, T.5S., R.76W. OF THE 6TH P.M. TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO SHEET 1 OF 2



CLIQUE TABLE

CLIQUE	LENGTH	RADIUS	CENTROID	BEARING	DETAIL
C1	23.55'	101.00'	23.50'	S22°27'56"W	L3271.34'
C2	21.90'	49.00'	21.33'	S16°54'11"W	23708.23'
C3	40.27'	45.00'	39.03'	S52°52'41"E	51311.21'
C4	40.27'	45.00'	39.03'	S52°52'41"E	51311.21'
C5	28.54'	45.00'	28.01'	S60°22'41"E	38298.37'
C6	30.22'	45.00'	29.66'	S60°22'41"E	38298.37'
C7	16.31'	250.00'	16.31'	S77°44'52"E	3441.15'
C8	51.53'	43.00'	48.46'	N75°32'17"E	6931.20'
C9	48.13'	35.00'	45.19'	S55°59'56"E	80225.90'
C10	11.31'	30.00'	11.25'	N60°21'08"W	9138.36'
C11	21.52'	37.25'	21.27'	N47°10'45"W	31709.17'
C12	16.72'	6.00'	11.81'	N33°43'27"E	15931.70'
C13	40.74'	35.00'	38.44'	S36°52'30"W	65245.00'
C14	14.18'	28.50'	14.04'	S17°46'07"W	27251.15'
C15	121.37'	120.00'	119.64'	S15°46'07"W	31321.15'
C16	121.37'	120.00'	119.64'	S15°46'07"W	31321.15'

LINE TABLE - BOUNDARY

LINE	LENGTH	BEARING
L1	78.87'	S42°39'46"W
L2	13.50'	N42°20'14"E
L3	46.49'	S42°20'14"E
L4	23.56'	S58°34'03"E
L5	57.10'	N71°50'27"E
L6	57.10'	N71°50'27"E
L7	24.97'	N32°39'57"E
L8	24.96'	N32°39'57"E
L9	43.12'	S55°59'56"E
L10	43.12'	S55°59'56"E
L11	11.27'	N60°21'08"W
L12	66.49'	N47°10'45"W
L13	127.06'	N27°21'47"E
L14	40.34'	N33°43'27"E
L15	38.44'	N33°43'27"E
L16	11.31'	N33°43'27"E

LINE TABLE - WATER EASEMENT

LINE	LENGTH
L17	165.1317'E
L18	165.1317'E
L19	55.84916'E
L20	55.84916'E
L21	11.27'
L22	54.17156'E
L23	54.17156'E
L24	11.73 sq. ft.
L25	11.73 sq. ft.
L26	54.17156'E
L27	54.17156'E
L28	11.27'
L29	50.434327'E
L30	50.434327'E
L31	11.27'
L32	50.434327'E
L33	50.434327'E
L34	11.27'
L35	50.434327'E
L36	50.434327'E
L37	11.27'
L38	50.434327'E
L39	50.434327'E
L40	11.27'
L41	50.434327'E
L42	50.434327'E
L43	11.27'
L44	50.434327'E
L45	50.434327'E
L46	11.27'
L47	50.434327'E
L48	50.434327'E
L49	11.27'
L50	50.434327'E
L51	50.434327'E
L52	11.27'
L53	50.434327'E
L54	50.434327'E
L55	11.27'
L56	50.434327'E
L57	50.434327'E
L58	11.27'
L59	50.434327'E
L60	50.434327'E
L61	11.27'
L62	50.434327'E
L63	50.434327'E
L64	11.27'
L65	50.434327'E
L66	50.434327'E
L67	11.27'
L68	50.434327'E
L69	50.434327'E
L70	11.27'
L71	50.434327'E
L72	50.434327'E
L73	11.27'
L74	50.434327'E
L75	50.434327'E
L76	11.27'
L77	50.434327'E
L78	50.434327'E
L79	11.27'
L80	50.434327'E
L81	50.434327'E
L82	11.27'
L83	50.434327'E
L84	50.434327'E
L85	11.27'
L86	50.434327'E
L87	50.434327'E
L88	11.27'
L89	50.434327'E
L90	50.434327'E
L91	11.27'
L92	50.434327'E
L93	50.434327'E
L94	11.27'
L95	50.434327'E
L96	50.434327'E
L97	11.27'
L98	50.434327'E
L99	50.434327'E
L100	11.27'
L101	50.434327'E
L102	50.434327'E
L103	11.27'
L104	50.434327'E
L105	50.434327'E
L106	11.27'
L107	50.434327'E
L108	50.434327'E
L109	11.27'
L110	50.434327'E
L111	50.434327'E
L112	11.27'
L113	50.434327'E
L114	50.434327'E
L115	11.27'
L116	50.434327'E
L117	50.434327'E
L118	11.27'
L119	50.434327'E
L120	50.434327'E
L121	11.27'
L122	50.434327'E
L123	50.434327'E
L124	11.27'
L125	50.434327'E
L126	50.434327'E
L127	11.27'
L128	50.434327'E
L129	50.434327'E
L130	11.27'
L131	50.434327'E
L132	50.434327'E
L133	11.27'
L134	50.434327'E
L135	50.434327'E
L136	11.27'
L137	50.434327'E
L138	50.434327'E
L139	11.27'
L140	50.434327'E
L141	50.434327'E
L142	11.27'
L143	50.434327'E
L144	50.434327'E
L145	11.27'
L146	50.434327'E
L147	50.434327'E
L148	11.27'
L149	50.434327'E
L150	50.434327'E
L151	11.27'
L152	50.434327'E
L153	50.434327'E
L154	11.27'
L155	50.434327'E
L156	50.434327'E
L157	11.27'
L158	50.434327'E
L159	50.434327'E
L160	11.27'
L161	50.434327'E
L162	50.434327'E
L163	11.27'
L164	50.434327'E
L165	50.434327'E
L166	11.27'
L167	50.434327'E
L168	50.434327'E
L169	11.27'
L170	50.434327'E
L171	50.434327'E
L172	11.27'
L173	50.434327'E
L174	50.434327'E
L175	11.27'
L176	50.434327'E
L177	50.434327'E
L178	11.27'
L179	50.434327'E
L180	50.434327'E
L181	11.27'
L182	50.434327'E
L183	50.434327'E
L184	11.27'
L185	50.434327'E
L186	50.434327'E
L187	11.27'
L188	50.434327'E
L189	50.434327'E
L190	11.27'
L191	50.434327'E
L192	50.434327'E
L193	11.27'
L194	50.434327'E
L195	50.434327'E
L196	11.27'
L197	50.434327'E
L198	50.434327'E
L199	11.27'
L200	50.434327'E
L201	50.434327'E
L202	11.27'
L203	50.434327'E
L204	50.434327'E
L205	11.27'
L206	50.434327'E
L207	50.434327'E
L208	11.27'
L209	50.434327'E
L210	50.434327'E
L211	11.27'
L212	50.434327'E
L213	50.434327'E
L214	11.27'
L215	50.434327'E
L216	50.434327'E
L217	11.27'
L218	50.434327'E
L219	50.434327'E
L220	11.27'
L221	50.434327'E
L222	50.434327'E
L223	11.27'
L224	50.434327'E
L225	50.434327'E
L226	11.27'
L227	50.434327'E
L228	50.434327'E
L229	11.27'
L230	50.434327'E
L231	50.434327'E
L232	11.27'
L233	50.434327'E
L234	50.434327'E
L235	11.27'
L236	50.434327'E
L237	50.434327'E
L238	11.27'
L239	50.434327'E
L240	50.434327'E
L241	11.27'
L242	50.434327'E
L243	50.434327'E
L244	11.27'
L245	50.434327'E
L246	50.434327'E
L247	11.27'
L248	50.434327'E
L249	50.434327'E
L250	11.27'

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, OR, IN NO EVENT, LATER THAN FIVE YEARS AFTER THE DATE OF RECORDATION OF THIS SURVEY. THE SURVEY IS GUARANTEED AGAINST CLAIMS FROM THE DATE OF THE CONVEYANCE SHOWN HEREON.

PLAT NOTES:

- EASEMENT AGREEMENT FOR WATER LINE REPAIR AT RECEPTION NO. 134440 DOES NOT EXHIBIT MAP. SAID EASEMENT IS DEFINED ON THIS PLAT.

TREASURER'S CERTIFICATE:

I, JESSICA L. KOERTERIZ, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT AND SURVEY WAS PREPARED BY ME, THE BEST OF MY KNOWLEDGE AND UNDER MY SUPERVISION AND THAT BOTH ARE ACCURATE.

DATED THIS _____ DAY OF _____ 20____

SIGNATURE: _____

JESSICA L. KOERTERIZ, P.L.S.
COLORADO REGISTRATION NO. 38855

TOWN OF KEYSTONE APPROVAL:

THE TOWN COUNCIL OF THE TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO, DOES HEREBY APPROVE THIS TOWNHOMES PLAT AT A MEETING _____ AND HEREBY AGREES TO RECORD THIS PLAT AND SURVEY AND TO ACCEPT THE PUBLIC RIGHTS AREAS AS SHOWN HEREON. ACCEPTANCE FOR PUBLIC RIGHTS-OF-WAY FOR STREETS OR ROADS DOES NOT CONSTITUTE ACCEPTANCE FOR MAINTENANCE OF ROADS CONSTRUCTED THEREIN. THE PROCEDURE FOR MAINTENANCE OF ROADS CONSTRUCTED THEREIN SHALL BE AS SET FORTH IN THE TOWN OF KEYSTONE ROAD AND BRIDGE DESIGN AND CONSTRUCTION STANDARDS OR SUCH REGULATIONS AS SHALL BE ADOPTED IN LIEU OF THE TOWN OF KEYSTONE ROAD AND BRIDGE DESIGN AND CONSTRUCTION STANDARDS.

MAYOR OR MAYOR PRO-TEM

NOTARIAL CERTIFICATE:

THE COMPANY DOES HEREBY CERTIFY THAT IT HAS EXAMINED THE TITLE TO ALL LANDS AND INTERESTS IN THE DEDICATION FREE AND CLEAR OF ALL LIENS, TAXES, AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

AGENT: _____

TITLE COMPANY CERTIFICATE:

THE COMPANY DOES HEREBY CERTIFY THAT IT HAS EXAMINED THE TITLE TO ALL LANDS AND INTERESTS IN THE DEDICATION FREE AND CLEAR OF ALL LIENS, TAXES, AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

AGENT: _____

NOTARIAL CERTIFICATE:

STATE OF _____

COUNTY OF _____

THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 20____ BY _____ AS _____ OF ONE KEYSTONE LLC.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

DEDICATION:

KNOW ALL PERSONS BY THESE PRESENTS THAT: ONE KEYSTONE LLC BEING THE OWNER OF THE LAND DESCRIBED AS FOLLOWS:

LOT 3A, KEYSTONE BASE 1, FILING NO. 2
IN THE TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO

UNDER THE NAME AND STYLE OF "ALCOVE TOWNHOMES," A RESUBDIVISION OF LOT 3A, KEYSTONE BASE 1, FILING NO. 2

HAS LAID OUT PLATTED AND SUBMITTED SAID AS SHOWN ON THIS PLAT AND BY THESE PRESENTS DOES HEREBY DEDICATE TO THE TOWN OF KEYSTONE, COUNTY OF SUMMIT, STATE OF COLORADO THE STREETS, ROADS AND OTHER PUBLIC AREAS AS SHOWN HEREON, INCLUDING BUT NOT LIMITED TO: THALES AND OPEN SPACES FOR USE AS SUCH AND HEREBY THE COUNTY OF SUMMIT FOR USE BY THE UTILITY COMPANIES OR OTHER PROVIDERS OF UTILITIES IN THE INSTALLATION AND MAINTENANCE OF UTILITY LINES AND FACILITIES, IN UNDERSTANDING THAT THE DEDICATION OF PUBLIC RIGHTS-OF-WAY AND FACILITIES IS TO BE CONSIDERED AS A CONDITION OF THE DEDICATION OF ROADS CONSTRUCTED THEREIN FOR MAINTENANCE BY THE TOWN OF KEYSTONE.

IN WITNESS WHEREOF, THE SAID OWNER, OWNERS NAME HAS CAUSED HIS NAME TO HEREONTO BE SUBSCRIBED THIS _____ DAY OF _____ 20____

BY: _____ AS _____ OF ONE KEYSTONE LLC

RECORDER'S ACCEPTANCE:

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE SUMMIT COUNTY CLERK AND RECORDED ON THIS _____ DAY OF _____ 20____ AND FILED FOR RECORD AT _____ M., UNDER RECEPTION NUMBER _____

SIGNATURE: _____ BY: _____

Checked: _____ Date: 07/20/2024 Project: 21555_08
Dwg: 21555A.C
R-A-N-G-E-W-E-S-T-I-N-G ENGINEERS & SURVEYORS
P.O. Box 539 Silverthorne, CO 80498 970-468-6281