

1.14 Sign Application Review Form

Keystone Sign Application Review Form

Name of Business: Alcove Townhomes - Replay Destinations Developer

Application Date: 6/25/2024

Name and Address of Establishment/Property: 37 Alcove Ct (closest future address)

Commercial Unit Number: N/A

Schedule number of the Unit Space: 24 Units

Name of Applicant: Jordan Deavers

Mailing Address: 261 Huron Rd E22 Breckenridge CO 80424

Email Address: jdeavers@replaydestinations.com Phone: (970) 409-0852

Sign Type(s) per the Sign Program: Neighborhood/Village Identification (Monument Sign)

Number of Sign(s) Applied For: 1
Attach a description and drawing of each sign.

Date Temporary sign will be installed and Total Days it will be used: N/A

Location(s): Corner of River Run Rd and Alcove Ct (Southeast corner)

Size Allowed: 32 SQFT for sign

Size Proposed: 5 SQFT for lettering 20 sqft for back drop panel

Portion of Signage Size Allowance Used: 20% of sign with lettering from what allowed

Materials Allowed: Stone, Metals (Steel structural, Alluminum)

Materials Proposed: Stone, Metal (Steel and Aluminum) Acrylic Letters

Mounting Allowed: Ground mounting only

Mounting Proposed: Structural footing in ground and mounted to that at ground level.

Illumination Allowed (yes or no): Yes - Back lit Letters and Logo ONLY

Illumination Proposed: See Page L202
Attach lighting product information (cut sheet) of each type and location plans

Recommendation for Approval: Trees shown are not approval

By: MKQ Title: President Date: 7-2-24
Keystone Architectural Review Committee Reviewer/Subsequently Identified Person Action: Approved []
With Conditions (see back) [] Denied []

By: _____ Title: _____ Date: _____
Summit County Planning Department.

By: _____ Title: _____ Date: _____
Summit County Engineering Dept. (when applicable)

By: _____ Title: _____ Date: _____
Summit County Open Space and Trails Dept. (when applicable)

By: _____ Title: _____ Date: _____

KEYSTONE VILLAGE GOLD BUG TOWNHOMES

90% REVIEW PLANS - ENTRY MONUMENT

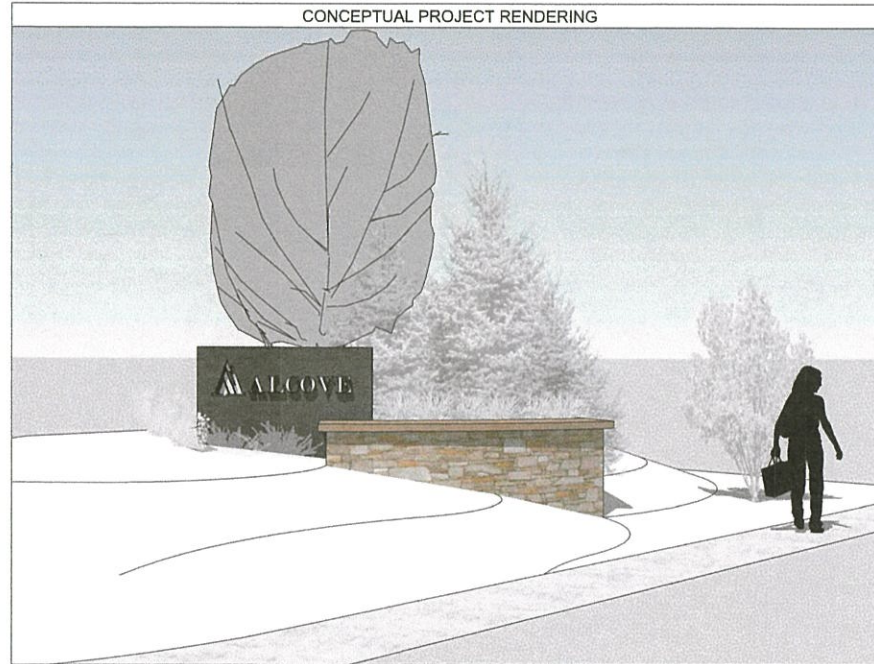
05/15/2024



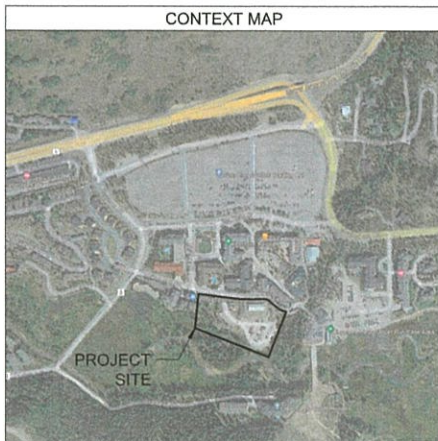
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Atlanta, Georgia 30308
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PROJECT DIRECTORY	
OWNER	<p>REPLAY DESTINATIONS 1700 Sun Peak Drive, Suite B101 Park City, Utah 84099 801.854.2039 Contact: Tyler Maloney Email: tmaloney@replaydestinations.com</p>
SURVEYOR	<p>SURVEYOR NAME Address City, State, Zipcode Phone Number Contact: Surveyor Contact Email: surveyor e-mail</p>
ARCHITECT	<p>DTJ DESIGN, INC. 3101 17th Avenue, Suite 130 Boulder, Colorado, 80501 303.443.7933 Contact: David Poppleton Email: dpoppleton@dtdesign.com</p>
LANDSCAPE ARCHITECT	<p>DTJ DESIGN, INC. 3101 17th Avenue, Suite 130 Boulder, Colorado, 80501 303.443.7933 Contact: Tread Richards Email: trichards@dtdesign.com</p>
CIVIL ENGINEER	<p>TEN MILE ENGINEERING INC. PO Box 1785 Fruita, CO 81413 970.865.8773 Contact: Joseph Magliocco Email: josephmagliocco@tenmile.com</p>
CONTRACTOR	<p>CONTRACTOR NAME Address City, State, Zipcode Phone Number Contact: Contractor Contact Email: contractor e-mail</p>



SHEET INDEX	
SHEET	DESCRIPTION
G-001	Cover Sheet
G-002	General Notes
L-101	Architectural Site Plan
L-102	Snow Storage Plan
L-103	Architectural Enlargement Plan
L-201	Site Details
L-202	Site Details
L-301	Overall Landscape Plan
L-302	Landscape Enlargement Plan
L-401	Landscape Details
L-402	Landscape Notes & Schedule



KEYSTONE VILLAGE - ALCOVE TOWNHOMES
90% REVIEW PLANS - ENTRY MONUMENT - LANDSCAPE

0012 ALCOVE CT (CR 228) UNITS 1, 2, & 3
KEYSTONE, COLORADO

NOT FOR
CONSTRUCTION

DRAWN BY:	DTJ
CHECKED BY:	DTJ
PROJECT NO.:	2021081.20
ISSUE DATE:	MAY 15, 2024
REVISIONS:	

SHEET TITLE

COVER SHEET

SHEET NUMBER

G001

Drawing: U:\2024\1011_20\Keystone Village - River Run Townhomes\05 CAD\Sheet\03 PERMIT SETS\ENTRY SIGN - LANDSCAPE\001-COVER.dwg
Last Modified: 5/15/2024 3:48:23 PM
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LANDSCAPE GRADING NOTES

(APPLY TO ALL LANDSCAPE RELATED FINE GRADING ONLY - SEE ALSO LEGENDS, SPECIFICATIONS AND CIVIL PLANS)

- Geotech Report**
The Contractor shall obtain and review the Summary Report and Recommendations prepared by the geo-technical engineers and fully understand the existing soil conditions encountered prior to submitting bid. The Contractor shall comply with all recommendations made by the geo-technical engineers, civil engineers, structural engineers and Owner's Representative, as designated in the soil report, on those drawings, specified, or as directed during field observations and inspections.
If a "Soils Investigation" on this project site has been performed it will be considered as a separate contract to the owner. (SEE CURRENT REPORT)
- Inspection and Testing**
All earthwork operations will be subject to full inspection and regular testing by a qualified soils and materials engineer and this Contractor shall be responsible to coordinate scheduling, notification and procuring test results and documentation as required - see Specifications. The Contractor shall notify the Owner's Representative of any subsol conditions encountered, which vary from those found during previous soil investigations and/or that may not have been known during design. Any failed tests which must be retested will be at Contractor's expense.
- Scope of Earthwork Operation**
All earthwork operations shall be conducted in strict compliance with the project specifications including but not limited to:
a. Full locating, investigation and protection of ALL existing utilities to remain.
b. Removal of any organic materials or debris
c. Stripping and stockpiling of all topsoil in approved location(s) - coordinate with Civil Plans.
d. Smooth transition from proposed grades to existing grades.
e. Replacement of topsoil after grading changes have been accomplished
- Moisture and Compaction**
See, and comply with, all specifications for depth of moisture density treatments, controls and compaction requirements.
- Verification of Existing**
See "L-legend" defining proposed grades, existing grades, and designed grades for adjacent construction by others. Contractor shall verify all existing grades to remain and all adjacent new construction grades for compliance with those shown, prior to bid and construction. All deviations or conflicts with proposed work shall be reported immediately (with written follow-up) notice within 24 hours to the Owner's Representative for direction to proceed, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and Supplementary Conditions under the existing Owner-Contractor Agreements/Contracts".
- Temporary Benchmarks**
The plans may call for specific temporary benchmarks to be transferred to the site by a certified surveyor and accurately established on site as a part of this contract. Contractor shall verify all benchmarks and information used in design and compare to existing conditions.
- Positive Drainage**
It is this Contractor's responsibility to provide proper positive drainage throughout this contract area. Field conditions shall be verified in conjunction with the proposed elevations to ensure that adequate drainage is provided. Report deviations or conflicts to Owner's Representative.
- Max and Min Slopes**
Unless otherwise indicated, minimum slope for paved surfaces shall be 1% and minimum slope for surface areas shall be 2%. Slope away from all structures at a slope designated by geotechnical engineer. Maximum ground slopes to be 4' horizontal to 1' vertical, unless specifically shown otherwise or approved in advance.
- Finished Grade**
All design elevations shown are "finished grades" unless otherwise indicated. Contractors shall refer to drawings, details and specifications regarding depth of subgrade required to add improvement thicknesses, etc. - see also "Typical earthwork sections" detail, if provided.
- Topsoil**
All topsoil and/or drainageway muck excavation shall be saved and stockpiled in approved locations for future use. All areas, unless stated for pavement or structures, shall receive a minimum of 8" of topsoil reseed and other soil preparation - see also specifications and soil amendment requirements, if provided.

LANDSCAPE LAYOUT NOTES

(APPLY TO ALL LANDSCAPE RELATED LAYOUT REQUIRED FOR IMPROVEMENTS - SEE ALSO LEGENDS, SPECIFICATIONS AND SHEET NOTES)

- Verify Survey Info**
All shown control points, baselines, benchmarks, property lines, setbacks, existing conditions to remain, and newly built adjacent construction (by others) shall be verified by a professionally certified surveyor (PLS) as a part of this contract. Any deviations from information shown or conflicts with proposed improvements shall require the Owner's Representative to be notified immediately with written follow up (within 24 hours), describing any deviation or variations from the proposed layout as depicted in these plans. Written approval to proceed must be obtained from the Owner's Representative prior to any demolition or new construction.
- Field Staking**
All work shown shall be field staked or otherwise denoted and subject to field verification, review, and approval by the Owner's Representative prior to any construction or demolition. Field staking of all proposed work and adjacent construction (even if future work by others) may be required by the Owner's Representative prior to approval of all improvements and adequate stakes shall be provided by this Contractor's Surveyor.
- AutoCAD Design File**
To expedite the layout of the site, "layout coordinates and/or grids" may have been established as shown. For elements designed with CAD, Drawing files (.DWG) will be provided to the surveyor for staking using surveyor established control points and benchmarks. These points shall be field staked by the surveyor as a part of this contract at the contractor's expense. The layout of these stakes shall accurately occur in locations as determined by the Owner's Representative and shall be maintained throughout the duration of this project. The establishment of these points shall be reviewed and approved by the Owner's Representative prior to any construction in those areas and will assist the Contractor in the layout of all site improvements as shown on drawing or otherwise.
- Dimension Tolerances**
The construction tolerances for this project are minimal and the dimensions shown are to be strictly adhered to.
- Dimensions**
Compass dimensions shall take precedence over scaled dimensions, and large scale over small scale drawings. Dimensions shown with (+/-) shall be the only layout information allowed to vary, and may only vary to the tolerances given or to +/- 1" if no dimension is given.
- Complete Project**
The Contractor is responsible to provide "complete-in-place" systems and a complete project, and any intermittent or periodic approvals received for portions of work, stakes, grades, or forms (by the Owner's Representatives, architects, engineers, or others) shall not waive the Contractor's requirements to comply with the intent of any and all portions of this contract.
- Staking**
All locations for walks, roads, swales, walls, curbs, structures etc. shall be staked by a registered land surveyor. All layout information is based on "Ground Coordinates" and the Contractor shall meet with the Owner's Consulting Surveyors and Engineers to clarify all datum, benchmark, control point requirements, walk, wall and other specific site improvements. Centerline layout information will be provided to the contractor by the engineer/landscape architect as CADD Drawing files (.DWG). See planning notes for tree staking.
- Curvilinear Improvements**
It is the intent and requirement of this contract to provide curvilinear walks, walls and curbs with smooth transitions and arcs (both horizontal and vertical). Straight segments and abrupt transitions will not be accepted unless shown as such on the plans. Wood curving forms may be required to obtain the proper effects. All walk, edgers, paving edges, and other curvilinear forms must be approved in field prior to installation.

LANDSCAPE GENERAL NOTES

(SEE ALSO ALL OTHER CONSULTANT/ENGINEER NOTES AND DOCUMENTS FOR ALL RELATED INFORMATION)

- Owners Rep.**
These drawings and documents are submitted to the Owner for review and approval, prior to any release for bidding or construction. Contractors shall receive all bid information, instructions, bid forms, general terms and conditions, and all other required clarifications from the Owner's Authorized Representative administering this project. Unless otherwise indicated, the "Owner's Representative" for this project shall be a specifically designated by the owner. The contractor will also be required to coordinate and correspond with other landscape architects from DTJ and other key consultants involved on the project.
- Project Manual Description**
These drawings supplement the other contractual information contained in the "Project Manual" and/or Bid Instructions (Specifications), if provided. Anything mentioned in the Project Specifications and not the drawings, or vice-versa, shall be of like effect as if shown on or mentioned in both. In case of discrepancy in drawings or project specifications, the matter shall be immediately submitted to the Owner's Representative; without his decision, said discrepancy shall not be adjusted by the Contractor, save only at his own risk and expense. The Contractor shall not take advantage of any apparent error or omission on the drawings or in the specifications. In the event the Contractor discovers such error or omission, he shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the contract.
- Complete Project Intent**
The "intent" of these Improvement Drawings, details and associated specifications is that the Contractor provide the Owner with a complete, accurate, functionally and technically sound project as generally described in the documents. The drawings are diagrammatic. In most cases, unless explicitly noted otherwise, drawing symbols are used to represent complete-in-place systems to be provided, as part of base bid. All elements shown or implied by the drawings, if not specifically detailed or specified, shall be installed per Uniform Building Codes, manufacturers' recommendations, State Highway Department Standards, City Standards and Specifications, standard industry practices, as approved by the Owner's Representative.
- Conform to Codes**
All work on this project shall conform to the current (KEYSTONE) Building and Zoning Codes, Ordinances, Standards and Specifications for Construction of Public Improvements, as well as all other applicable governing regulations in effect.
- Survey Control Points**
All range points, ties, benchmarks or other survey control points which may be encountered during construction, must be preserved or modified/relocated by a registered surveyor at the contractor's expense. Immediately upon discovery, the Contractor shall notify the Owner's Representative of any survey control points found and obtain direction prior to proceeding.
- Permits**
The Contractor shall coordinate and obtain all permits which are necessary to perform the proposed work. Owner to pay for all construction permits unless otherwise indicated in the Contract Documents. Contractor shall obtain, at his expense, all specialty permits needed for specific items included with the work, unless otherwise indicated in the Contract Documents. Contractor shall comply with all notification and inspection requirements.
- Testing**
Unless specifically noted otherwise in the Contract Documents, the Contractor shall obtain and coordinate all technical tests and reports by a certified independent laboratory or agency as outlined in the specifications or these drawings. The Owner may, at the Owner's sole discretion, provide separate testing and/or inspection service, and the Contractor is required to fully coordinate with those consultants/contractors. Owner to pay for all soils and materials testing.
- Existing Condition Survey**
An Existing Condition Survey has been provided to the Owner by registered surveyors under separate contracts for the basis of design. It is not to be considered as part of these Design Development Documents. The survey information has been reformatted and included in this set for general information only and intended to assist the contractor in the general orientation of the site. The Contractor is required to visit the site, verify information, conduct any exploratory research, and become thoroughly familiar with all existing conditions as pre-requisite of this bid submittal. Without exception, any deviations or omissions found between these plans and existing site conditions shall immediately be brought to the attention of the Owner's Representative, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and Supplementary Conditions under the existing Owner-Contractor Agreements/Contracts".

SIGNAGE & FABRICATION NOTES

(SEE ALSO ALL OTHER CONSULTANT/ENGINEER NOTES AND DOCUMENTS FOR ALL RELATED INFORMATION)

- The information provided within these sheets are for design intent only and for contractor to provide materials, products and shop drawings with supporting structural engineering for project signage. The intent is for complete fabrication including, but not limited to, earthwork, forms / foundations, backfill, finegrading, electrical (lighting fixtures, electrical supply, trenching, conduit, lighting metering / control), signage / metal lettering, hardware, attachments, finishes and coordination of work with others. The contractor shall provide an accurate, fully working system.
- Fabricator to provide a complete set of shop drawings, including all materials, finishes, colors, electrical supply / connections, and hardware for review and approval by the owner / owner's representative prior to any fabrication.
 - Shop drawings shall include metal lettering (including internal framing), internal lighting, hardware, connections and foundations. The fabricator shall understand and adhere to any requirements/recommendation within the geotechnical report.
 - The sign fabricator shall provide all structural engineering design of the signage foundation, hardware and connections.
 - The sign fabricator shall provide all required permits for construction of signage as illustrated within these drawings.
 - Details shown within these drawings shall be followed for exterior appearance (finishes, dimension, and materials). Fabricator may change interior construction shown on these details to conform with their own shop practices.
 - Fabricator shall coordinate location of all electrical conduit and wiring with other site disciplines.
 - Lettering / text style artwork shall be provided by the owner / owner's representative.
 - Fabricator to provide samples of each material with the corresponding color and finish, as specified or directed, for review and approval by the owner / owner's representative.
 - Fabricator to provide temporary wood, heavy cardboard, or approved material full scale mock-up in the field for review and approval by the owner / owner's representative. Mock-up shall be orientated and at the correct height, in the field, as indicated within these drawings.

PROJECT GENERAL NOTES

- Engineering base information and survey information provided by (SURVEYOR).
- Grading to be approved prior to planting. All trees to be staked with wood lath and size and species noted for final field adjustment.
- All hardscape materials to be approved in field by Landscape Architect prior to installation. Contractor to provide field mock-up samples for all paving, stone, stone paving, edger, gravel mulch, walls, fire features, fencing and lighting.
- All constructional edger to be staked and painted in the field prior to approval of grading and boulder placement for areas adjacent to the edger.
- All landscape materials to be located by matrix plan or planting plan in field prior to planting by contractor. Trees and planting areas may be adjusted in the field and on final landscape & irrigation construction drawings to accommodate unforeseen conditions, provided that the landscape meets the intent shown on these plans approved by Owner's Representative. See Landscape Notes for specifics.
- Contractor to inspect site soil conditions, assume amendment of 2 cu yd/1000 sf of "moss magic" compost for all planting areas and 1cu yd/1000 sf for all turf areas. Notify Landscape Architect/owner immediately of any additional work considered necessary to create. Contractor is responsible for soil blending with compost to create an improved planting mix.
- The horizontal distance between trees and any site utilities or infrastructure shall be in compliance with codes of the local governing authority.
- Irrigation to be design/build by contractor. Contractor to provide schematic irrigation plans for review by landscape architect/owner prior to installation on site. Contractor to become familiar w/ existing irrigation system & coordinate with owner for specifics. Trees, lawn, and drip zones to be on separate zones (3 types).
- All irrigation vaults to be located in planting areas shall have **tan cover - red green**.

ABBREVIATIONS	
B.O.F.	BOTTOM OF FOOTING
B.O.S.	BOTTOM OF STEP
B.O.W.	BOTTOM OF WALL
C.I.P.	CAST IN PLACE
C	CENTERLINE
CLR	CLEAR
CJ	CONSTRUCTION JOINT
C.M.U.	CONCRETE MASONRY UNIT
CONT.	CONTINUOUS
DIA.	DIAMETER
EJ	EXPANSION JOINT
E.D.	DOVELED EXPANSION JOINT
F.O.W.	FACE OF WALL
F.F.E.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.V.	FIELD VERIFY
FL	FLOWLINE
GALV.	GALVANIZED
HC	HANDICAPPED
HP	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT ELEVATION
JT	JOINT
LF	LINEAR FOOT
MAX.	MAXIMUM
MIN.	MINIMUM
MH	MANHOLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE

OC	ON CENTER
O.D.	OUTSIDE DIAMETER
PA	PLANTING AREA
P	PLATE
POB	POINT OF BEGINNING
PVMT	PAVEMENT
PVC	POLYVINYL CHLORIDE
P.L.	PROPERTY LINE
RAD	RADIUS
REINF.	REINFORCEMENT
RD	ROAD DRAIN
RO	ROUGH OPENING
SCJ	SAW CUT JOINT
S.J.	SCORE JOINT
SFF	SQUARE FACE FOOT
SHT	SHEET
SPEC	SPECIFICATIONS
STD	STANDARD
STL	STEEL
T.O.B.	TOP OF BANK
T.O.C.	TOP OF CURB
T.O.R.	TOP OF ROCK
T.O.S.	TOP OF STEP
T.O.SL	TOP OF SLAB
T.O.W.	TOP OF WALL
TRP	TYPICAL
V.I.F.	VERIFY IN FIELD
W.E.	WATER ELEVATION
WWM	WELDED WIRE MESH



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KEYSTONE VILLAGE - ALCOVE TOWNHOMES
90% REVIEW PLANS- ENTRY MONUMENT - LANDSCAPE

0012 ALCOVE CT (CR 228) UNITS 1, 2, & 3
KEYSTONE, COLORADO

NOT FOR
CONSTRUCTION

DRAWN BY: DTJ
CHECKED BY: DTJ
PROJECT NO: 202108120
DATE: MAY 15, 2024
REVISIONS:

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

G002



HARDSCAPE LEGEND

	LIMIT OF WORK
	PROPERTY BOUNDARY
	STEEL EDGER
	LOT LINES
	EASEMENT LINE
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	COBBLE MULCH
	SNOW STORAGE AREA

NOTES:

- PROTECT EXISTING TREES AROUND PERIMETER OF SITE IN PLACE
- SIGNAGE SHALL BE STACKED, IN THE FIELD, FOR REVIEW & APPROVAL PRIOR TO ANY CONSTRUCTION BEING PROVIDED.
- ELECTRICAL POWER SUPPLY SHALL BE PROVIDED BY THE G.C., INCLUDING CONDUIT / WIRING, GC, WALL CONTRACTOR AND SIGNAGE FABRICATOR SHALL COORDINATE TO ENSURE THAT TYPE AND LOCATION OF ELECTRICAL MEETS NEEDS FOR SIGNAGE.
- ALL DIMENSION, UNLESS OTHERWISE STATED, ARE TO OUTSIDE OF STRUCTURES / ELEMENTS.

Drawing: U:\2021\03-2021\stone\2222\River Run Townhomes\03 CAD\Sheet\03-PRINT\573\ENTRY SIGN - LANDSCAPE\01 OVERALL HARDSCAPE PLAN\BLDG 2.dwg
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KEYSTONE VILLAGE - ALCOVE TOWNHOMES
 90% REVIEW PLANS - ENTRY MONUMENT - LANDSCAPE

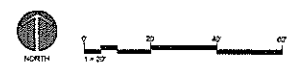
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DESIGNER	DTJ
CHECKED BY	DTJ
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ISSUE DATE	MAY 15, 2024
REVISIONS	

OVERALL
 ARCHITECTURAL
 SITE PLAN

L101



NOT FOR
CONSTRUCTION

DRAWN BY:	DTJ
CHECKED BY:	DTJ
PROJECT NO:	2023081.20
REV DATE:	MAY 15, 2024
REVISIONS:	

SNOW STORAGE
PLAN

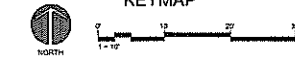
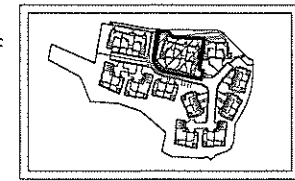
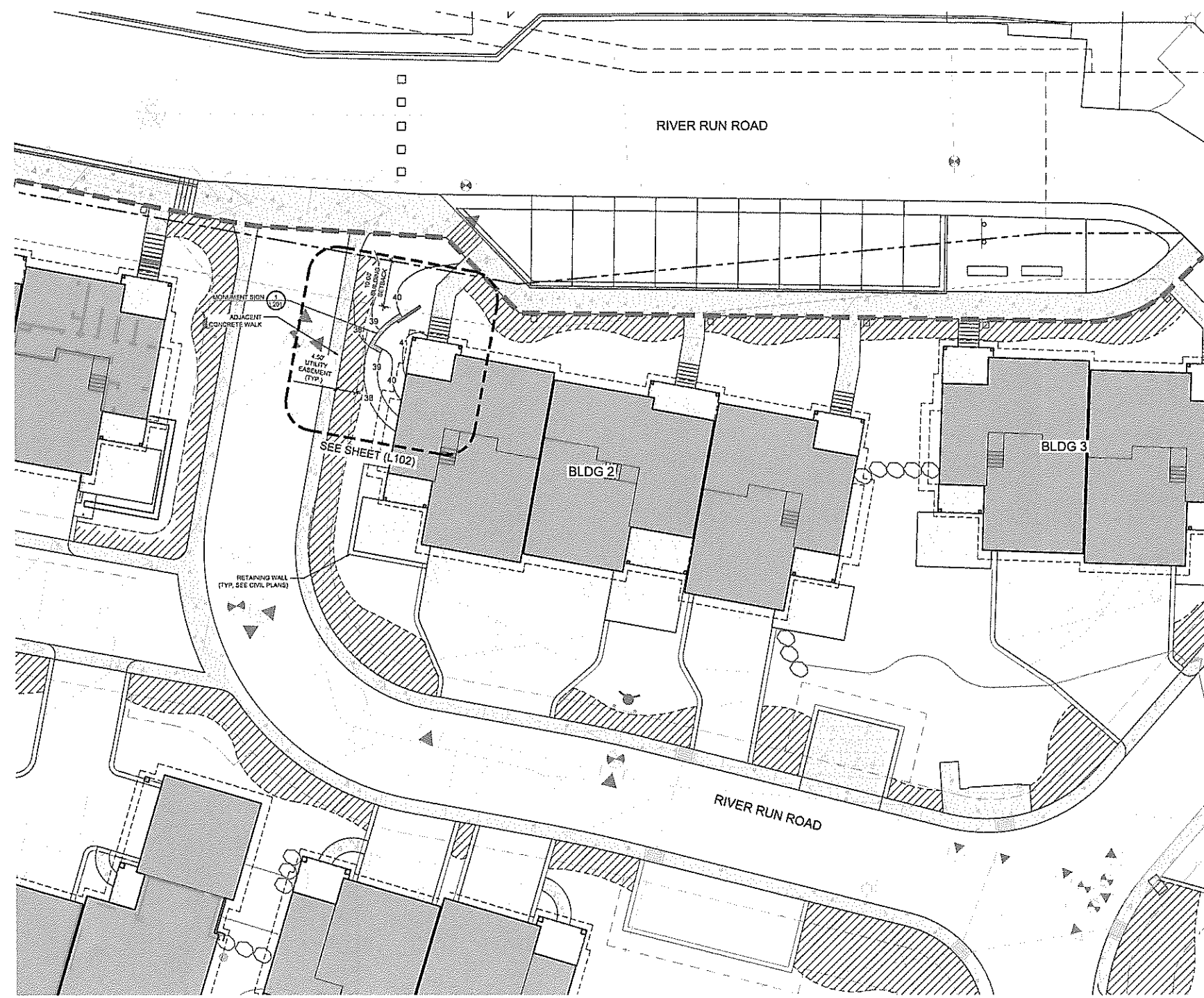
NOT SCALE

HARDSCAPE LEGEND

	LIMIT OF WORK
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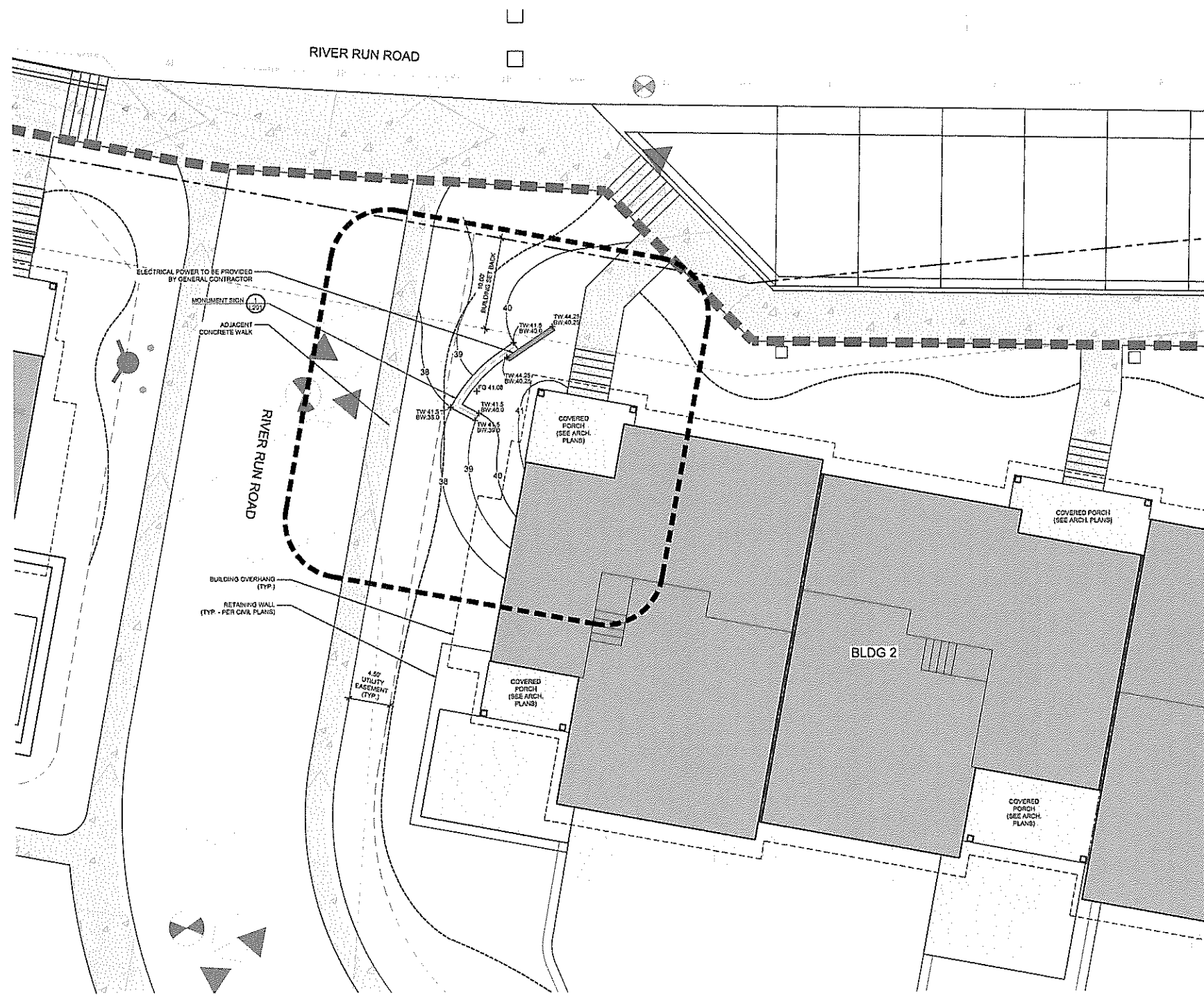
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4. ALL DIMENSION, UNLESS OTHERWISE STATED, ARE TO OUTSIDE OF STRUCTURES / ELEMENTS.



Drawing: L102 (102) - Keystone Village - River Run Townhomes 90% Construction Permit Entry Sign - Landscape L101 Snow Storage Plan BLDG 2 & 3
 Date: 05/15/2024 10:52:03 AM
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Drawing: U:\021181-20 Keystone Village - River Run Townhomes\02 CAD\02\02\03 PERMIT SETS\ENTRY TSH - LANDSCAPE\PL1 (0) - HARDSCAPE PLAN\BLDG 2.dwg
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HARDSCAPE LEGEND

	LIMIT OF WORK
	PROPERTY BOUNDARY
	STEEL EDGER
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KEYMAP

KEYMAP



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KEYSTONE VILLAGE - ALCOVE TOWNHOMES
 90% REVIEW PLANS - ENTRY MONUMENT - LANDSCAPE

0012 ALCOVE CT (CR 228) UNITS 1, 2, & 3
 KEYSTONE, COLORADO

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DRAWN BY:	DTJ
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DATE DATE:	MAY 15, 2024
REVISIONS:	

ARCHITECTURAL
 ENLARGEMENT
 PLAN

NOT FOR
CONSTRUCTION

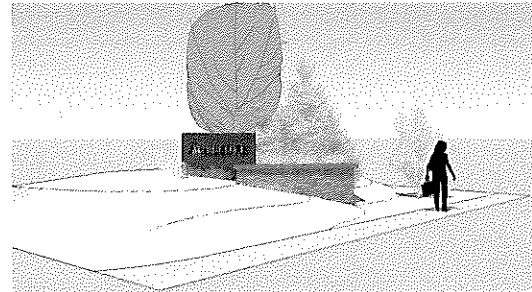
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DESIGNED BY: DTJ
PROJECT NO: 2021093_20
PLAN DATE: MAY 15, 2024
BY: [Signature]

SHEET NO.

SIGN DETAILS

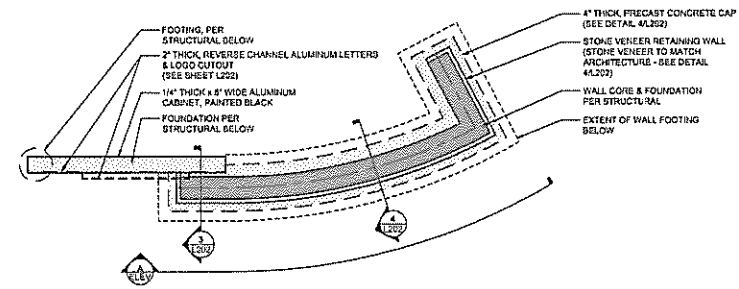
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L201

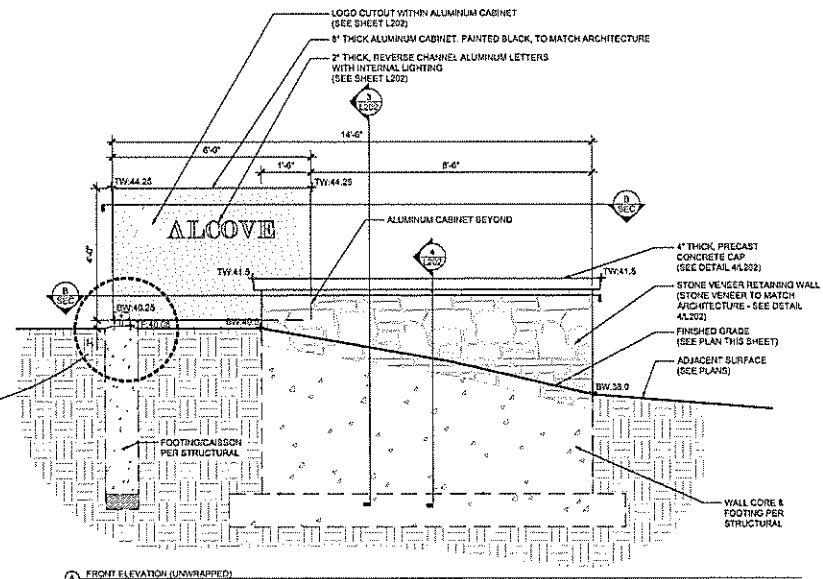


F REFERENCE IMAGE ONLY

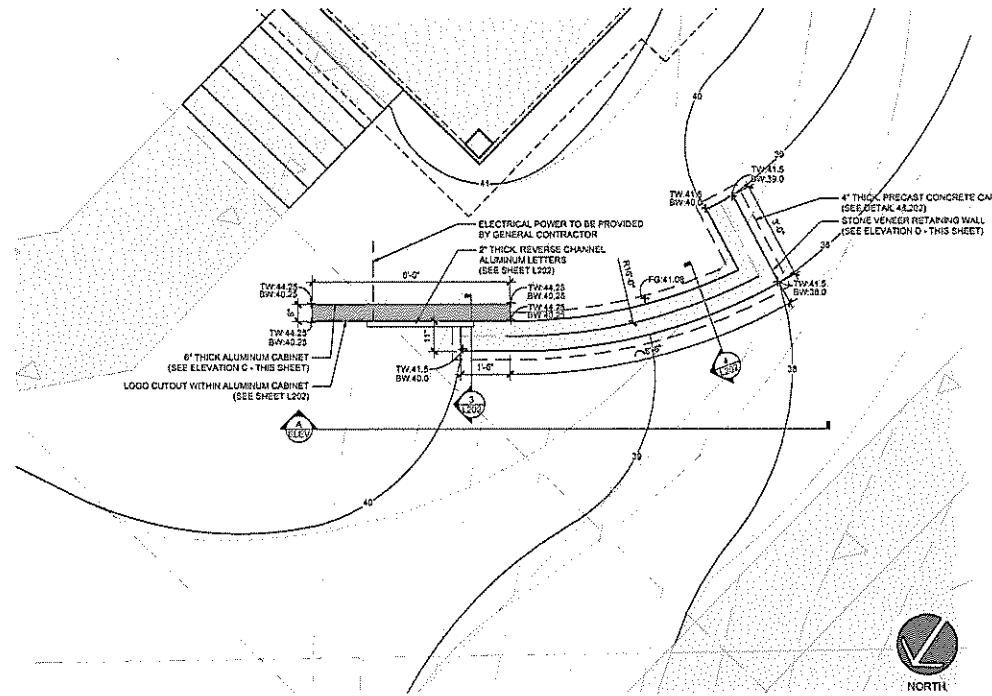
- NOTES
- CONTRACTOR TO SUBMIT ENGINEERED, STAMPED SHOP DRAWINGS TO OWNER. OWNER'S REP FOR REVIEW PRIOR TO CONSTRUCTION.
 - INSTALL ALUMINUM CABINET, LETTERING, LIGHTING & ACRYLIC FINISH MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR SHALL VERIFY ALL INFORMATION TO ENSURE DESIGN FIT AND ACCURACY, AND SHOULD ANTICIPATE MINOR CHANGES BEING MADE IN THE FIELD TO ACCOMMODATE EXISTING SITE CONDITIONS.
 - REFER TO ARCHITECTURAL & STRUCTURAL IFC DRAWINGS FOR STONE VENEER, WALL CAP & RETAINING WALL INFORMATION.



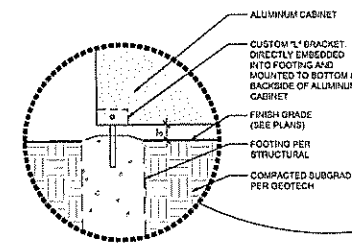
B PARTIAL SECTION



A FRONT ELEVATION (UNWRAPPED)



D PLAN SCALE: 1/2"=1'-0"



C CABINET FOOTING & ALIGNMENT

1 MONUMENT SIGN SCALE: 1/2"=1'-0"

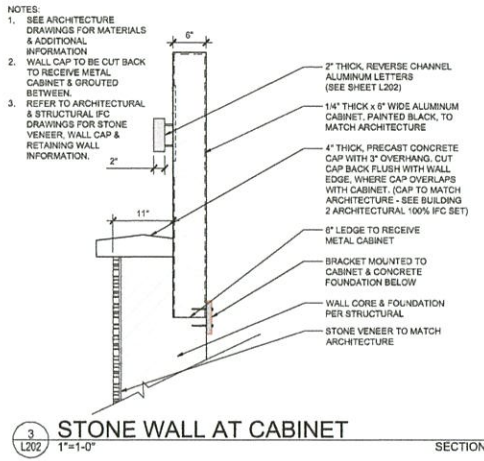
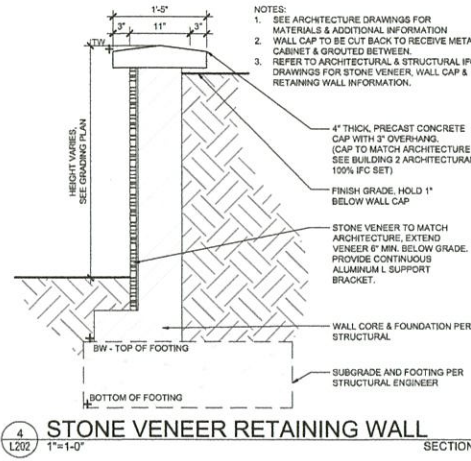
PLAN, SECTION, ELEVATION, IMAGE

NOT FOR
CONSTRUCTION

DRAWN BY: DTJ
CHECKED BY: DTJ
PROJECT NO: 202108120
REUSE DATE: MAY 15, 2024
REVISIONS:

SHEET TITLE
SIGN LETTERING
DETAILS

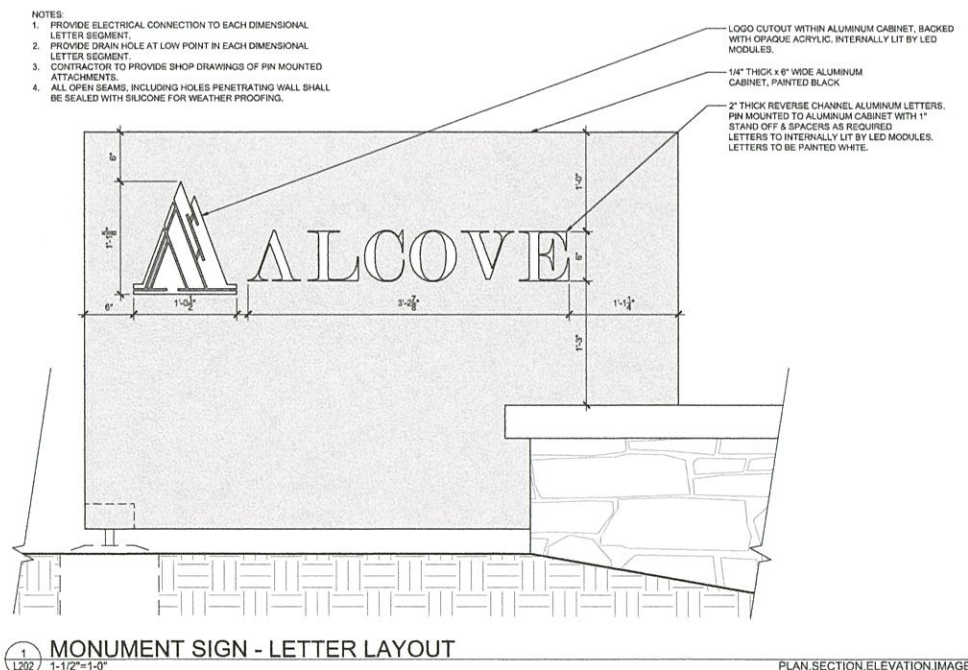
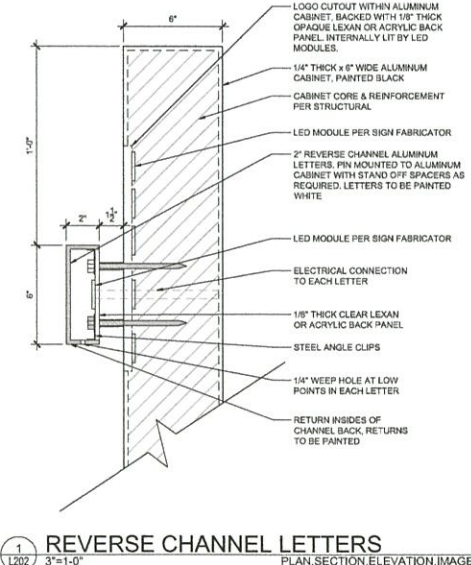
SHEET NUMBER



- NOTES:
1. PROVIDE ELECTRICAL CONNECTION TO EACH DIMENSIONAL LETTER SEGMENT
2. PROVIDE DRAIN HOLE AT LOW POINT IN EACH DIMENSIONAL LETTER SEGMENT
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF PIN MOUNTED ATTACHMENTS
4. ALL OPEN BEAMS, INCLUDING HOLES PENETRATING WALL TO BE SEALED WITH SILICONE FOR WEATHER PROOFING.



LEXAN BACK PANELING LETTERING CHARACTER IMAGERY



Drawing: L:\02210812\03-keystone-village - River Run Townhomes\05 CAD\Sheet\03-PERMIT SETS\ENTRY SIGN - LANDSCAPE\01-SIGN DETAILS.dwg
Last Modified: 5/15/2024 3:45:05 PM
Last Printed: 5/15/2024 3:45:05 PM
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LANDSCAPE LEGEND

	DECIDUOUS/SHADE TREE (SEE DETAIL 02/L102)
	EVERGREEN TREE (SEE DETAIL 01/L102)
	EVERGREEN SHRUBS (SEE DETAIL 04/L102)
	DECIDUOUS SHRUBS (SEE DETAIL 04/L102)
	SHORT DRY GRASS MIXTURE @ SF (SEE TABLE ON L100)
	COBBLE MULCH
	SNOW STORAGE AREA
	LIMIT OF WORK
	PROPERTY BOUNDARY
	STEEL EDGER
	LOT LINES
	EASEMENT LINE
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR

NOTES:

- SEE SHEET L100 LANDSCAPE SCHEDULE AND NOTES FOR ALL PLANTING LIST AND QUANTITIES. PLANT SYMBOLS ARE SHOWN AT APPROXIMATELY MATURE SIZE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED USING THE SPECIFIED SEED MIX UNLESS OTHERWISE DESIGNATED ON PLANTING PLAN.
- ALL TREES AND SHRUBS SHALL BE DRIP IRRIGATED.
- ALL PLANTINGS SHALL BE PLANTED TO AVOID CONFLICTS WITH SIGHT TRIANGLES AND EXISTING AND PROPOSED UTILITIES.
- FINAL PLANT LOCATION SHALL BE FIELD VERIFIED.
- PROTECT EXISTING TREES AROUND PERIMETER OF SITE IN PLACE.
- SIGANAGE SHALL BE STACKED, IN THE FIELD, FOR REVIEW & APPROVAL PRIOR TO ANY CONSTRUCTION BEING PROVIDED.
- ELECTRICAL POWER SUPPLY SHALL BE PROVIDED BY THE G.C., INCLUDING CONDUIT / WIRING, G.C. WALL CONTRACTOR AND SIGNAGE FABRICATOR SHALL COORDINATE TO ENSURE THAT TYPE AND LOCATION OF ELECTRICAL MEETS NEEDS FOR SIGNAGE.
- ALL DIMENSION, UNLESS OTHERWISE STATED, ARE TO OUTSIDE OF STRUCTURES / ELEMENTS.

Drawing: U:\2024\101_20_Keystone Village - River Run Townhomes\105_CADD\sheet\03-REV\MT 157\ENTRY SIGN - LANDSCAPE\PL101-OVERALL LANDSCAPE PLAN.BLDG 2.dwg
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 User: jason@dtj.com
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KEYSTONE VILLAGE - ALCOVILLE TOWNHOMES
 90% REVIEW PLANS - ENTRY MONUMENT - LANDSCAPE

0012 ALCOVILLE CT (CR 228) UNITS 1, 2, & 3
 KEYSTONE, COLORADO

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PROJECT NO.:	2021081.00
ISSUE DATE:	MAY 15, 2024
REVISIONS:	

OVERALL LANDSCAPE PLAN

L301



Drawing: U:\0271681_20\KeyStone Village - River Run Townhomes\04\PERMIT SETS\ENTRY\EG04 - LANDSCAPE\1207 LANDSCAPE ENL BLDG 2.dwg
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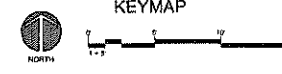
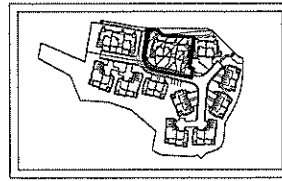


LANDSCAPE LEGEND

	DECIDUOUS/SHADE TREE (SEE DETAIL 02/L102)
	EVERGREEN TREE (SEE DETAIL 01/L102)
	EVERGREEN SHRUBS (SEE DETAIL 04/L102)
	DECIDUOUS SHRUBS (SEE DETAIL 04/L102)
	SHORT DRY GRASS MIXTURE 0 SF (SEE TABLE ON L100)
	COBBLE MULCH
	SNOW STORAGE AREA
	LIMIT OF WORK
	PROPERTY BOUNDARY
	STEEL EDGER
	LOT LINES
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NOTES:

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KEYSTONE VILLAGE - ALCOVE TOWNHOMES
 90% REVIEW PLANS - ENTRY MONUMENT - LANDSCAPE

0012 ALCOVE CT (CR 228) UNITS 1, 2, & 3
 KEYSTONE, COLORADO

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ISSUE DATE	MAY 15, 2024
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LANDSCAPE ENLARGEMENT PLAN

SHEET NUMBER

LANDSCAPE PLANTING NOTES

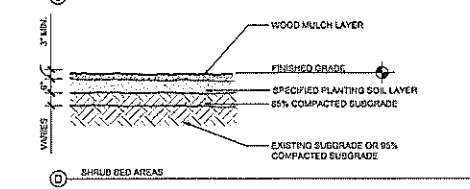
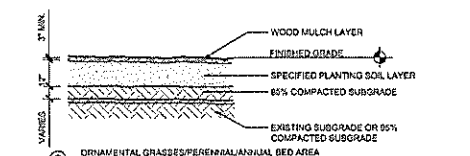
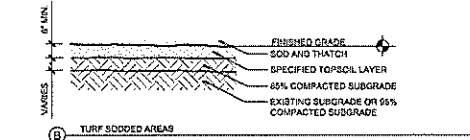
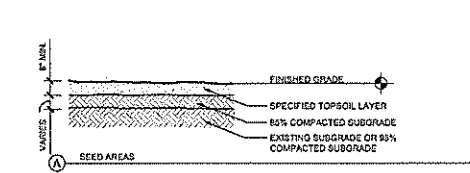
- The Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall take sole responsibility for any and all cost, or other liabilities incurred due to damage of said utilities/structures/etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown conditions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- The Contractor shall be responsible for any coordination with Subcontractors as required to accomplish all planting and related operations.
- See specifications and details for planting methods (staking, pit dimensions, backfill requirements, etc.), soil testing, materials, execution and plant protection and other related planting requirements.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting, and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings. A registered surveyor may be required if specified elsewhere.
- The Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- If conflicts arise between size of areas and plans, The Contractor is required to contact Owner's Representative for resolution. Failure to meet such conflicts known to the Owner's Representative will result in The Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/scientific names, sizes, estimated quantities (if given) and other remarks.
- It is The Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-located or "tagged" material must be inspected by The Contractor and certified pest and disease free. It is The Contractor's obligation to maintain warranty at plant materials per the "Project Manual" and planting specifications. All plants shall be subject to the Owner's Representative approval prior to installation.
- The Contractor may be asked to provide "Unit Cost" for every size of plant material, by type, as called out on the planting plans, specifications and details. Unit cost shall include the plant material itself including installation, all labor, amendments, fertilizers, warranties, etc. as shown on the drawings, details and as specified. See "Project Manual", if applicable.
- Provide matching sizes and forms for all species of trees and plants installed on grid or spaced evenly in rows as shown on drawings, unless otherwise shown or detailed. Adjust spacing to "equal-equal" as necessary (subject to acceptance by the Owner's Representative).
- Form a minimum 30 inch watering basin around all trees as shown in the details. Fill basin with 3" layer of mulch (see specs). See also details and project manual, if applicable.
- The Contractor shall fine grade, raise and be responsible for positive drainage away from all structures and throughout site, with accurately set flow lines. No low spots or ponding of surface water will be accepted in this final work. No rocks or debris will be accepted (see specs). Final grade tolerances are 1/4" 1 foot maximum.
- Unless indicated otherwise, all planting beds are to be mulched with 3" deep layer of mulch per plans, details, and project manual, if applicable.
- All planting beds to be separated from adjacent lawn with steel edger per specifications (as shown). If a bed lies adjacent to hardscape surface, no edging is required, as shown in plans. Stakes set plans for review/acceptance by Owner's Representative, prior to installation. Install per specification and details. In some cases, perennial and annual beds may be separated from adjacent shrub bed areas. See plans, details, and specifications.
- The Contractor shall be required to provide coordinate gantry stakes for all control point layout of steel edger at the discretion of the Owner's Representative. Additionally, The Contractor shall provide point lines / string lines / hose or other means to fully indicate the specific layout geometry of all seed edgers for approval by the Owner's Representative, prior to any construction. The Contractor's base bid shall anticipate minor adjustments as directed by the Landscape Architect in the field.
- Where provided, area takeoffs and plant quantity estimates are for information only. The Contractor is responsible to do their own quantity take-offs for all plant materials and sizes as shown on plans. In case of any discrepancies, plans and plant symbols shall take precedence over take-offs and/or "plant list". The Contractor is responsible for notifying the Owner's Representative with any major discrepancies for review and direction.
- Coordinates installation of all plant material with installation of all adjacent irrigation, pavements, curb and related structures. Any damage to existing improvements is the responsibility of The Contractor and shall be replaced / repaired at his own expense.
- Unless otherwise indicated:
 - All groundcovers, perennials, orn. grasses and annuals shall be triangularly spaced (equal-equal). See Planting details.
 - All planting areas including sod, seed and planting beds, shall receive soil amendments. See specifications and details.
 - Sodded lawn shall have been grown between 9 and 18 months and shall have full, vigorous growth.
 - Shrubs and ornamental grass areas, within beds, are to be underlaid with weed barrier. See specifications.
 - All bulb planting (if shown) shall occur after mid-October and before ground is frozen.
- The Contractor is responsible to "restore" all areas of the site, or adjacent areas, where disturbed. Soil areas disturbed shall be restored with new soil to match existing. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored with an approved seed mix (including topsoil and amendments).
- The Contractor shall take into consideration all necessary scheduling and other precautions to avoid winter, climatic, or other weather related damage to plants. A "planting window" of specific calendar days is required to be submitted by The Contractor for approval and planting operations should occur per this approved schedule. See specification for more information.
- All "existing" plant material to remain" shall be staked and fenced for protection in a diameter equal to the drip line. See drawings for location and extent.
- During plant establishment, adjacent areas, including wetlands, ponds and stream corridors, will be protected from sedimentation and erosion. Prior to construction activities, adjacent areas outside the "Limit of Work" or impacted areas, will be protected with soil fence. Newly graded slopes above should be replanted as soon as possible following grading.



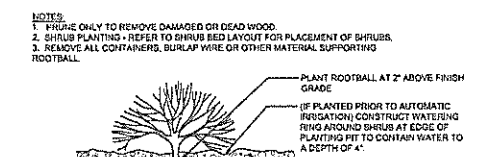
NOTES:
 1. SET ALL EDGING 1" ABOVE FINISHED GRADE AS SHOWN. EDGING SHALL ABUT ALL PAVING SURFACES PERPENDICULAR AND FLUSH WITH PAVING GRADES. ALL JOINTS TO BE WELDED OR SECURELY STAKED.
 2. DEPTH OF STEEL EDGING TO BE APPROVED BY OWNER'S REPRESENTATIVE - ADJUST AS DIRECTED.
 3. COLOR: GREEN.
 4. MANUFACTURER: SUR-LOC EDGING OR APPROVED EQUAL. CONTACT: 800.747.3032

LANDSCAPE EDGER
 SCALE: 1 1/2" = 1'-0"
 SECTION

- MULCHING CONDITIONS:**
 1. PROVIDE WOOD MULCH (PER NOTE 14 ON SHEET L102) IN THE FOLLOWING BEDS:
 A. PERENNIALS
 B. ORNAMENTAL GRASSES
 C. TREE RINGS
 D. SHRUB BEDS
 E. GROUNDCOVERS
- 2. HARD COMPACT SOIL AT SHOVEL/EDGING/UNDERCOVER AREA**

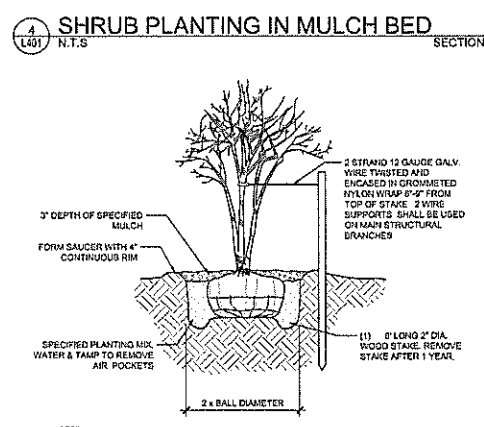


PLANTING AREAS
 N.T.S.
 SECTION



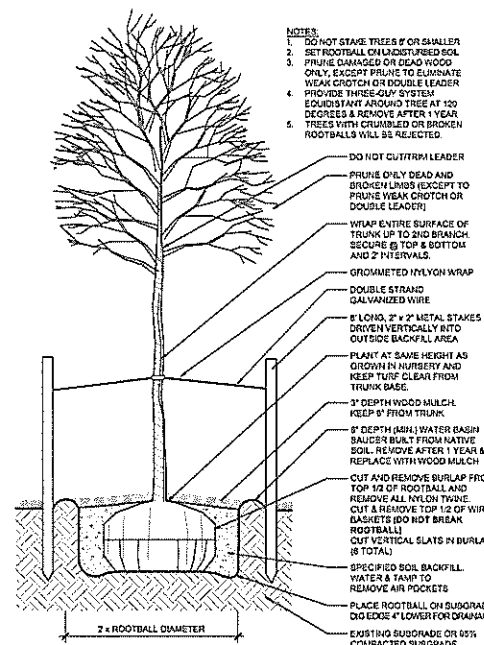
NOTES:
 1. PRUNE ONLY TO REMOVE DAMAGED OR DEAD WOOD.
 2. SHRUB PLANTING - REFER TO SHRUB BED LAYOUT FOR PLACEMENT OF SHRUBS.
 3. REMOVE ALL CONTAINERS, BURLAP WIRE OR OTHER MATERIAL SUPPORTING ROOTBALL.

SHRUB PLANTING IN MULCH BED
 N.T.S.
 SECTION

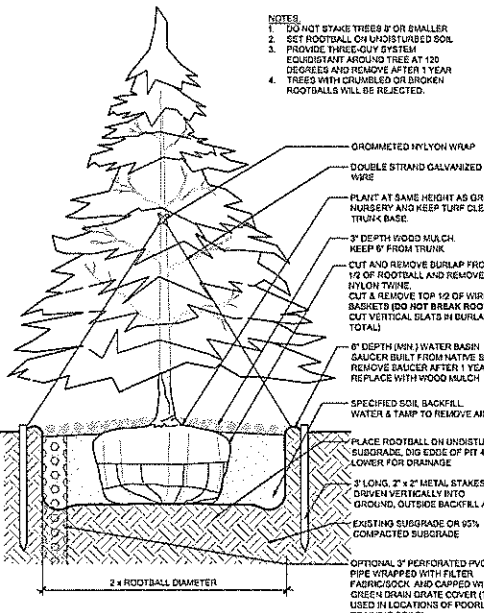


NOTES:
 1. STAKE TO FIRST BRANCHES AS NECESSARY FOR SUPPORT.
 2. WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.

MULTI-TRUNK TREE STAKING
 N.T.S.
 SECTION



DECIDUOUS TREE PLANTING
 N.T.S.
 SECTION



EVERGREEN TREE PLANTING
 N.T.S.
 SECTION



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KEYSTONE VILLAGE - ALCOVE TOWNHOMES
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CHECKED BY:	DTJ
PROJECT NO:	202108120
ISSUE DATE:	MAY 15, 2024
REVISIONS:	

LANDSCAPE DETAILS

L401

Drawings: 1/20/24 (01) 2024 KeyStone Village - River Run Townhomes 90% Construction Review Entry Monument - Landscape Details - L401
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