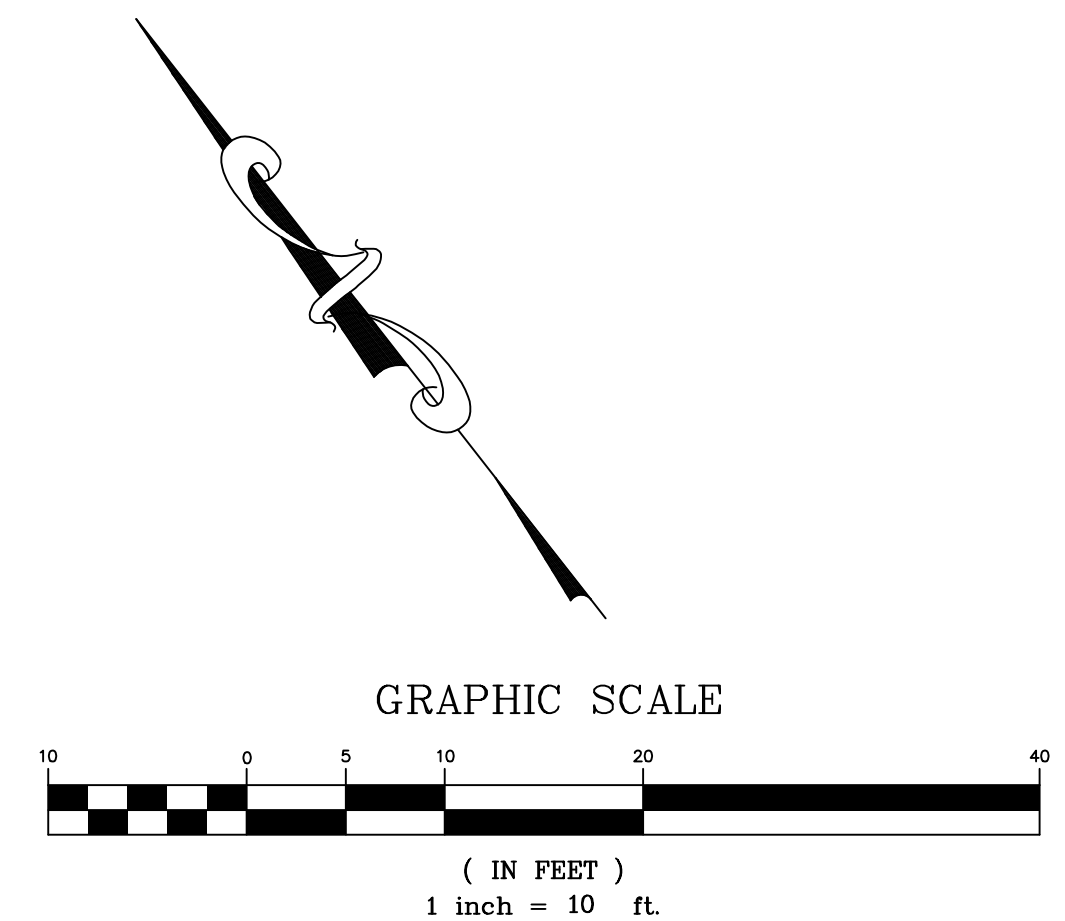
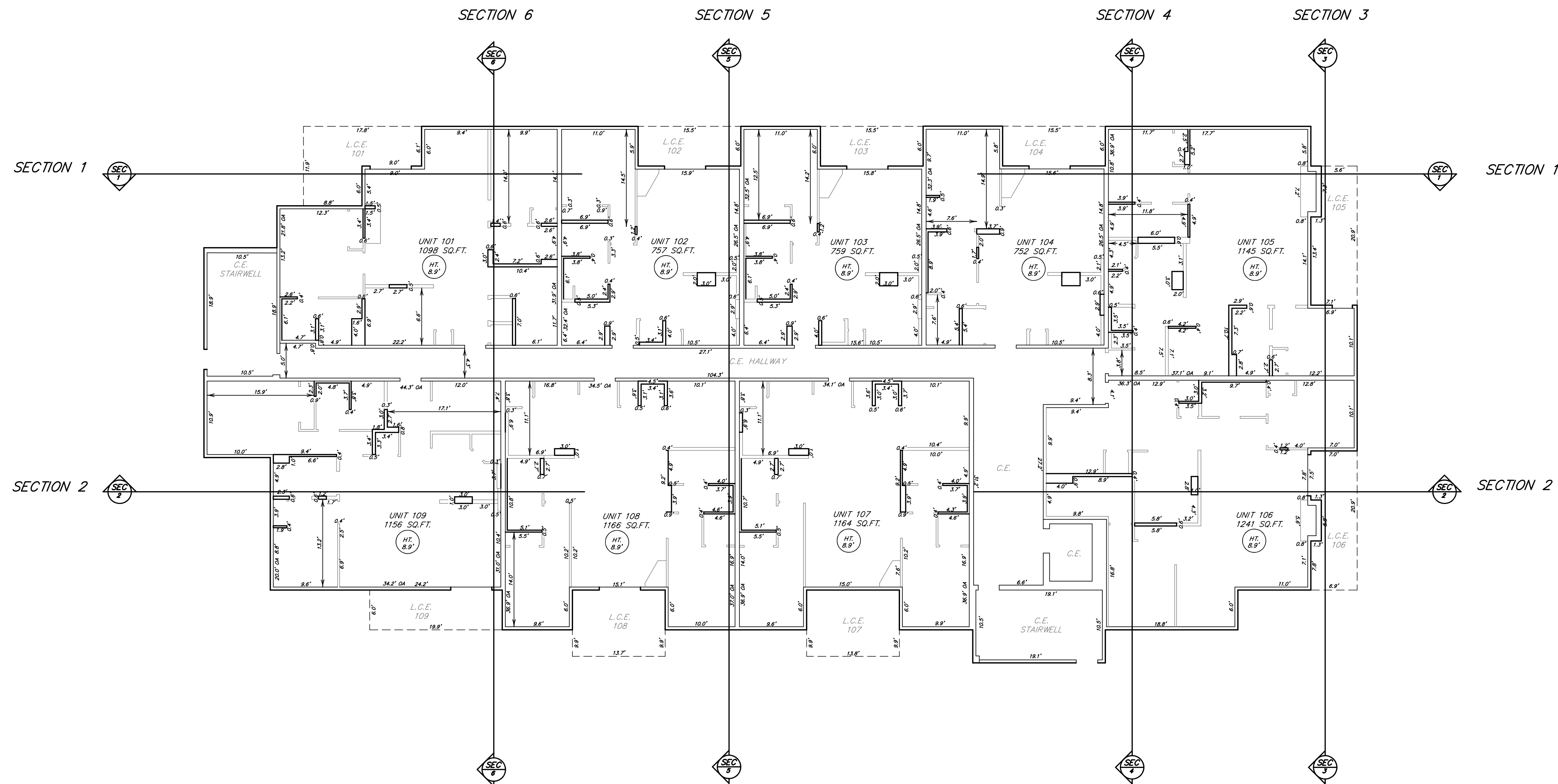


A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
THE THIRD SUBDIVISION EXEMPTION REPLAT OF TRACT G, KEYSTONE VILLAGE I AMENDED
ACCORDING TO THE MAP RECORDED AT REC. NO. 1350465 ON 04/22/2025
SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 2 OF 8
FLOOR 1



- EXTERIOR WALL
- STRUCTURAL WALL
- NON-STRUCTURAL WALL
- UTILITY WALL

C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT

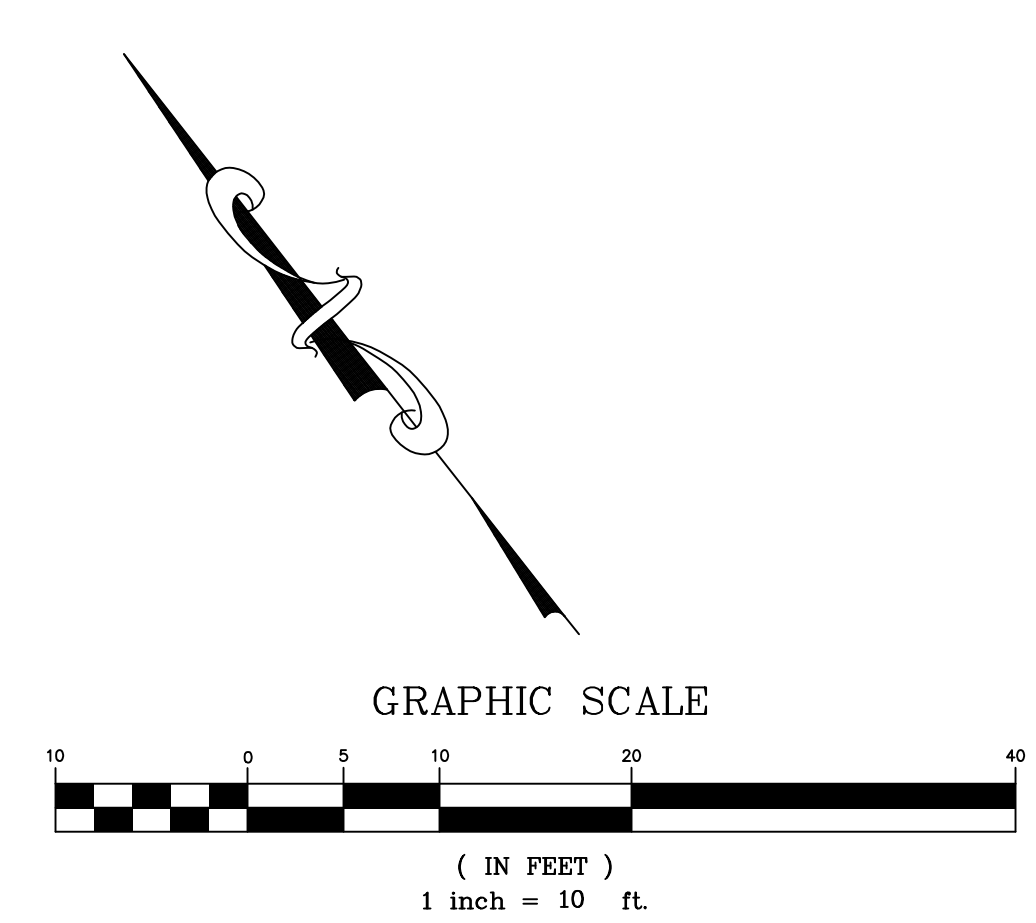
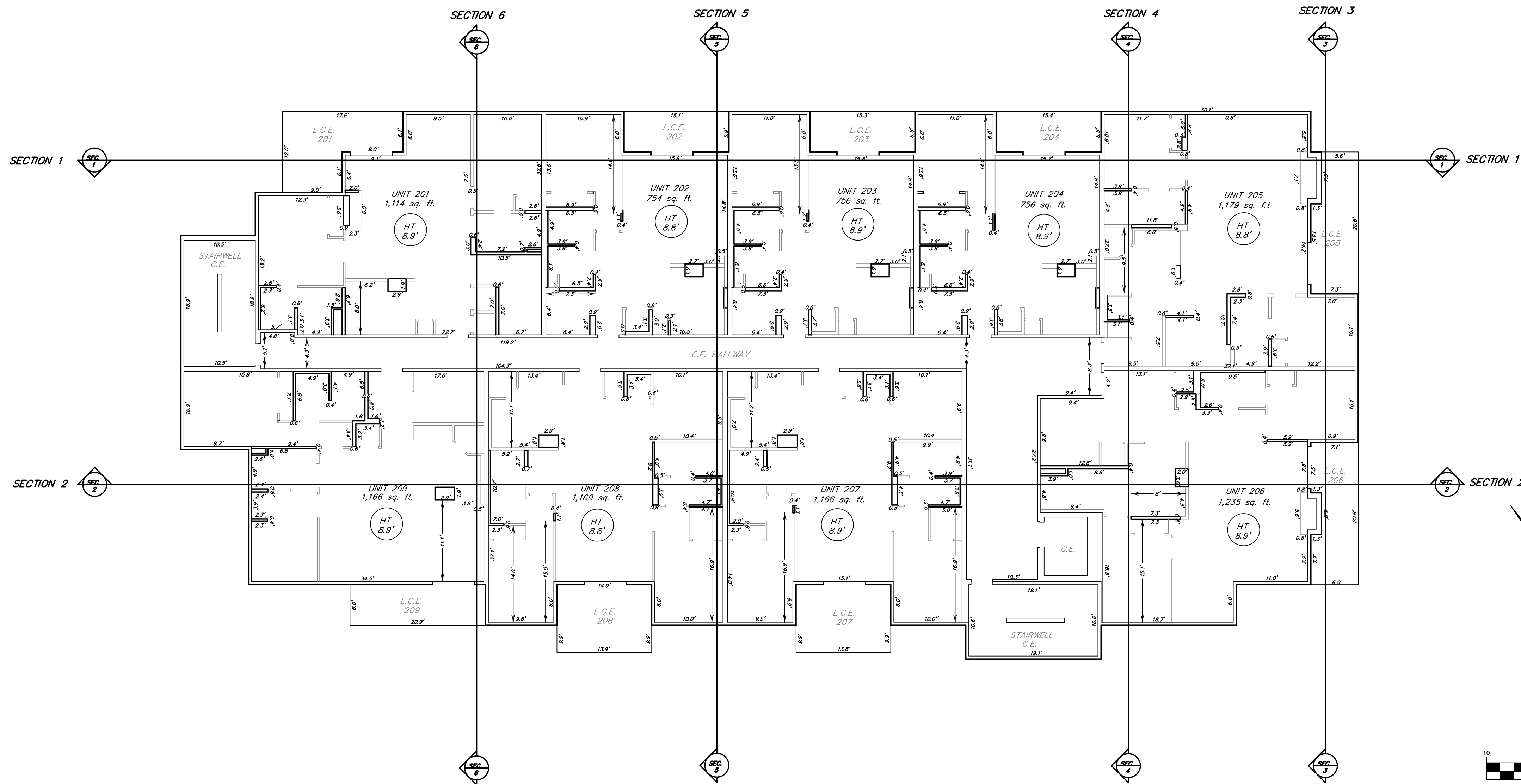


NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drawn ESH	Dwg SHEET 2	Project 22436
Checked JJK	Date 11/06/2025	Sheet 2 of 8
RANGEL WEST, INC. ENGINEERS & SURVEYORS		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

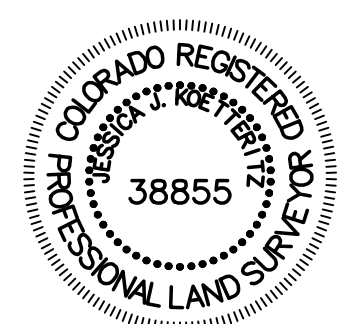
A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
THE THIRD SUBDIVISION EXEMPTION REPLAT OF TRACT G, KEYSTONE VILLAGE I AMENDED
ACCORDING TO THE MAP RECORDED AT REC. NO. 1350465 ON 04/22/2025
SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 3 OF 8
FLOOR 2



C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT

- EXTERIOR WALL
- STRUCTURAL WALL
- NON-STRUCTURAL WALL
- UTILITY WALL

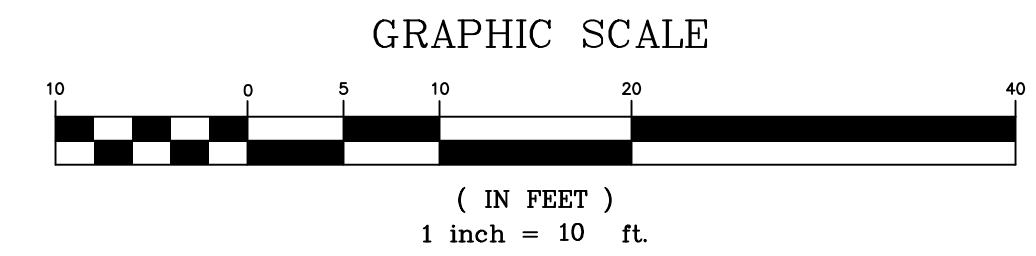
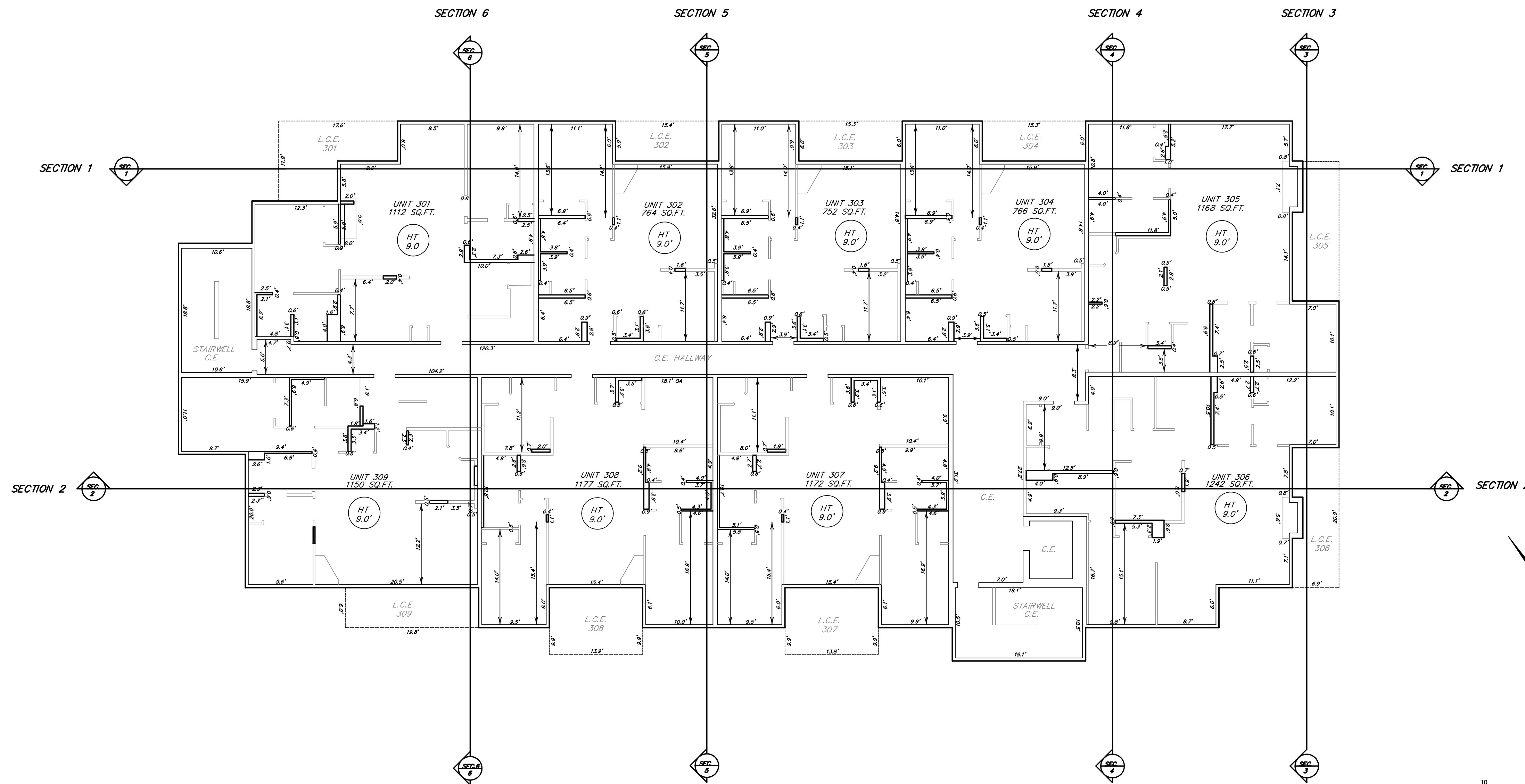


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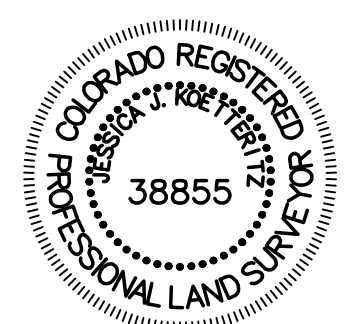
Drawn ESH/FG	Dwg SHEET 3	Project 22436
Checked JJK	Date 11/06/2025	Sheet 3 of 8
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
THE THIRD SUBDIVISION EXEMPTION REPLAT OF TRACT G, KEYSTONE VILLAGE I AMENDED
ACCORDING TO THE MAP RECORDED AT REC. NO. 1350465 ON 04/22/2025
SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 4 OF 8
FLOOR 3



C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT



- EXTERIOR WALL
- STRUCTURAL WALL
- NON-STRUCTURAL WALL
- UTILITY WALL

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Drawn ESH	Dwg SHEET 4	Project 22436
Checked JJK	Date 11/06/2025	Sheet 4 of 8
RANGE WEST ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
THE THIRD SUBDIVISION EXEMPTION REPLAT OF TRACT G, KEYSTONE VILLAGE I AMENDED
ACCORDING TO THE MAP RECORDED AT REC. NO. 1350465 ON 04/22/2025
SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 5 OF 8

Architectural floor plan of a three-story building, oriented with SECTION 1 at the top and SECTION 3 at the bottom. The plan includes dimensions for walls, doors, and furniture. The lofts are labeled 301, 305, and 306. The building is surrounded by a site plan showing the building's location relative to the street and other buildings.

SECTION 1 (Top): Contains Loft 301 (sq. ft. 274) and Loft 305 (sq. ft. 294). Both lofts are labeled HT 9.5'. Loft 301 has dimensions 10.9' x 10.8'. Loft 305 has dimensions 36.6' x 33.1'. The building is surrounded by a site plan showing the building's location relative to the street and other buildings.

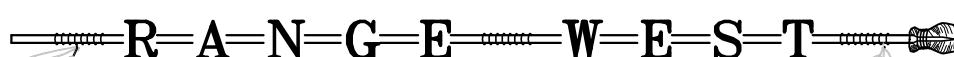
SECTION 2 (Middle): Contains Loft 309 (sq. ft. 260) and Loft 306 (sq. ft. 269). Both lofts are labeled HT 9.5'. Loft 309 has dimensions 10.8' x 10.8'. Loft 306 has dimensions 36.6' x 33.1'. The building is surrounded by a site plan showing the building's location relative to the street and other buildings.

SECTION 3 (Bottom): Contains Loft 306 (sq. ft. 269). The loft is labeled HT 9.5'. The building is surrounded by a site plan showing the building's location relative to the street and other buildings.

A circular seal for a Colorado Registered Professional Land Surveyor. The outer ring contains the text "COLORADO REGISTERED" at the top and "PROFESSIONAL LAND SURVEYOR" at the bottom. Inside this ring, the name "JESSICA J. KETTERER" is written in a smaller circle. In the center of the seal is the number "38855".

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Drawn ESH	Dwg SHEET 5	Project 22436
Checked JJK	Date 11/06/2025	Sheet 5 of 8

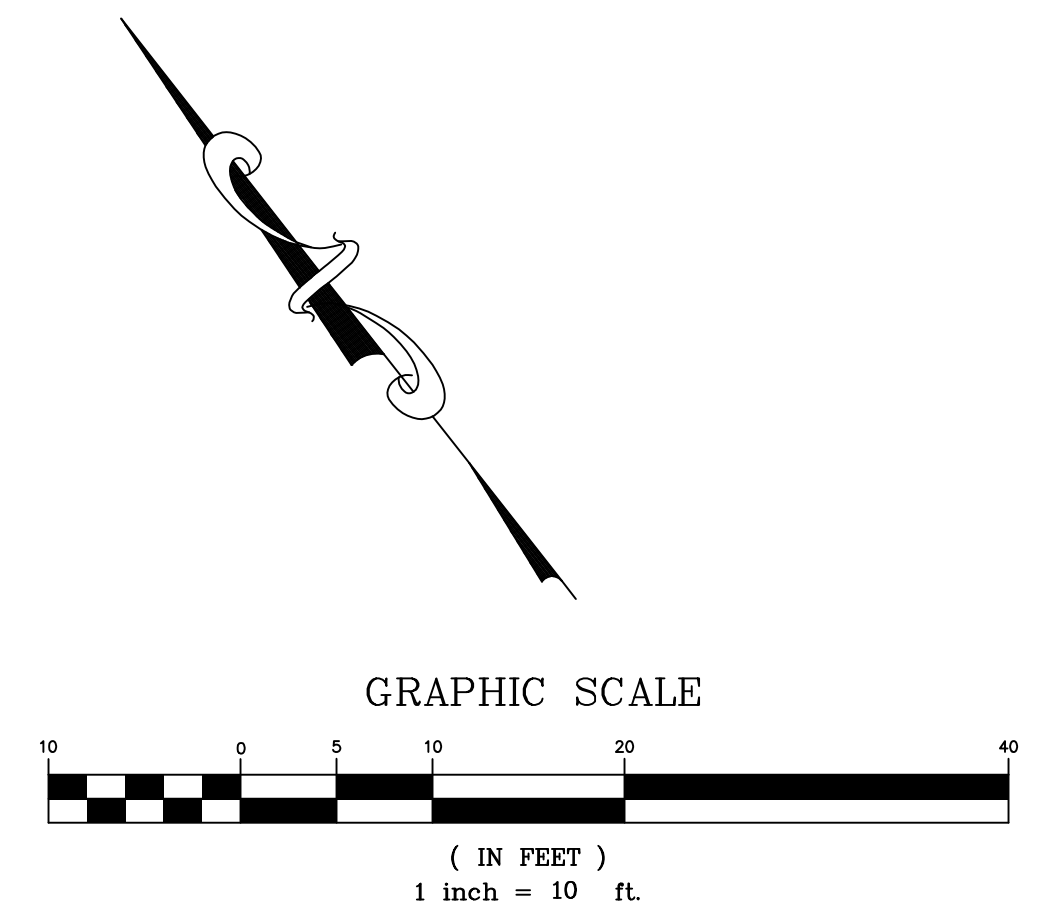
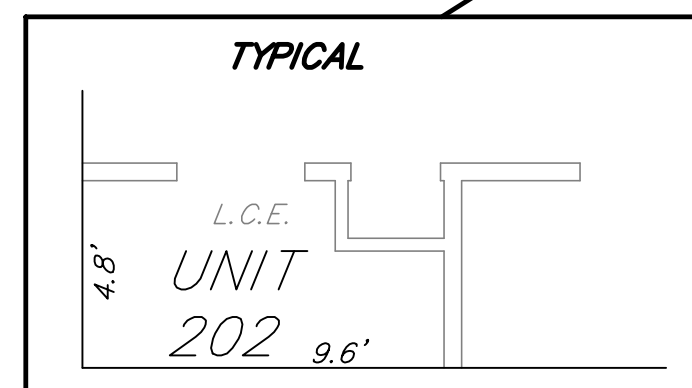
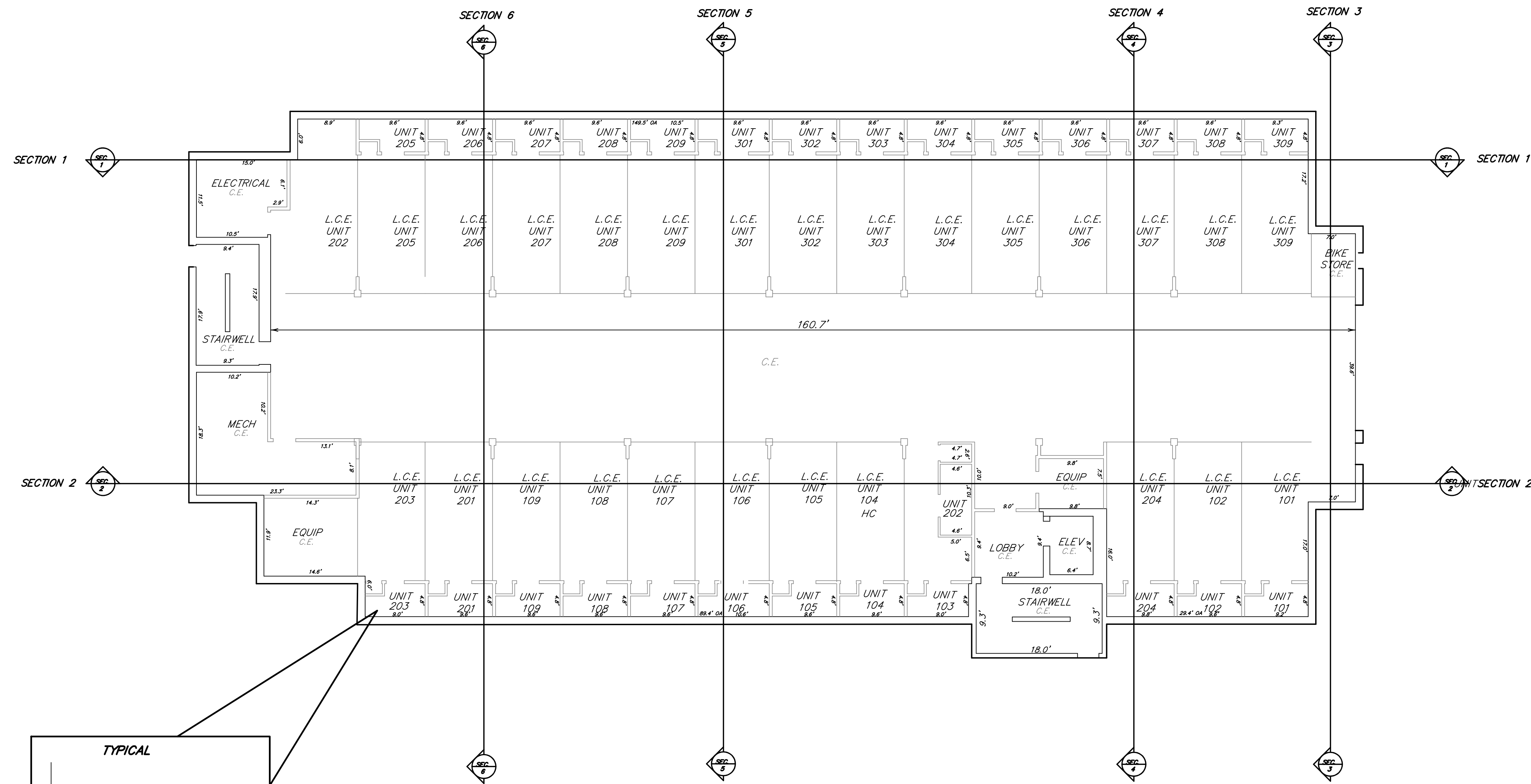


RANGE-WEST
ENGINEERS & SURVEYORS INC.

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Silverthorne, CO 80498 970-468-6281

A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
THE THIRD SUBDIVISION EXEMPTION REPLAT OF TRACT G, KEYSTONE VILLAGE I AMENDED
ACCORDING TO THE MAP RECORDED AT REC. NO. 1350465 ON 04/22/2025
SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 6 OF 8
GARAGE LEVEL



C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT



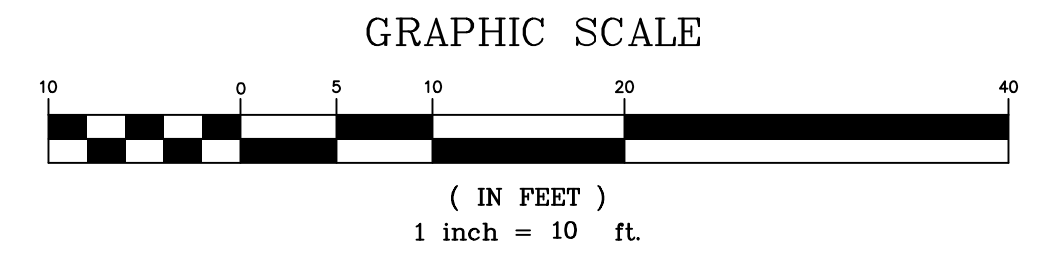
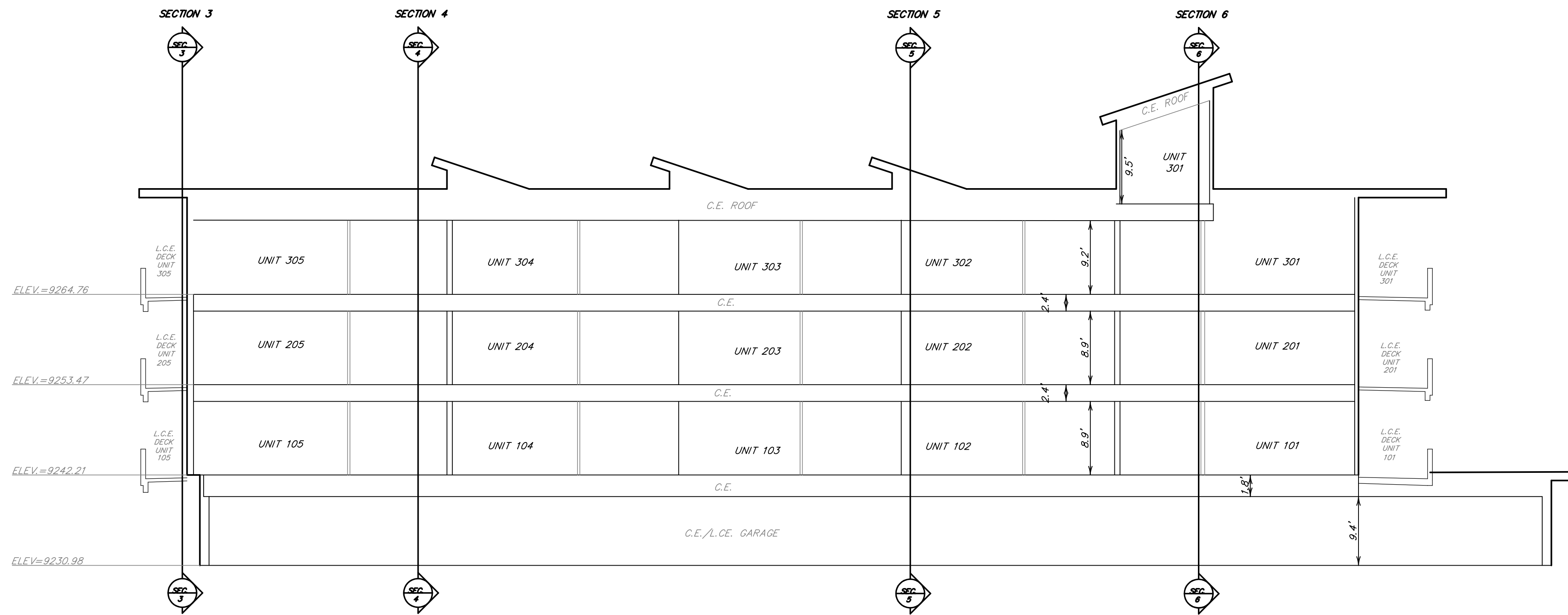
— EXTERIOR WALL
— STRUCTURAL WALL
— NON-STRUCTURAL WALL
— UTILITY WALL

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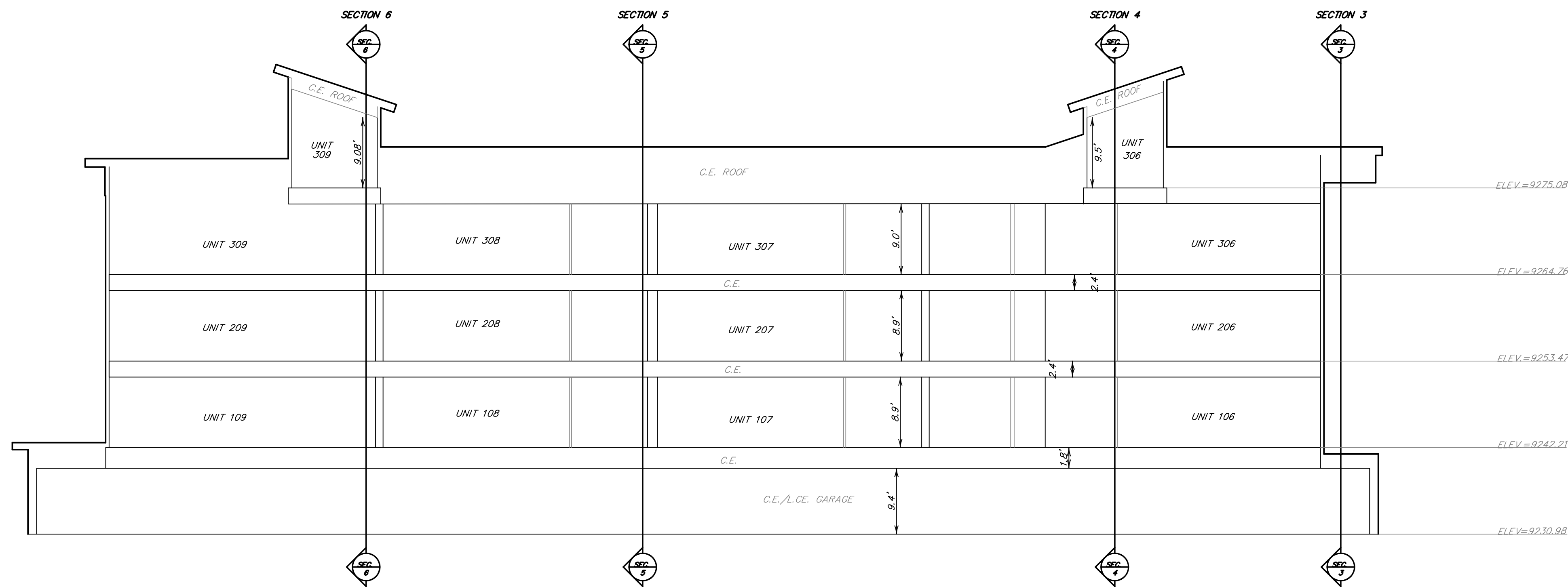
Drawn ESH	Dwg SHEET 6-EAST	Project 22436
Checked JJK	Date 11/06/2025	Sheet 6 of 8
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
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SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 7 OF 8



SECTION 1



- EXTERIOR WALL
- STRUCTURAL WALL
- NON-STRUCTURAL WALL
- UTILITY WALL

C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT

SECTION 2



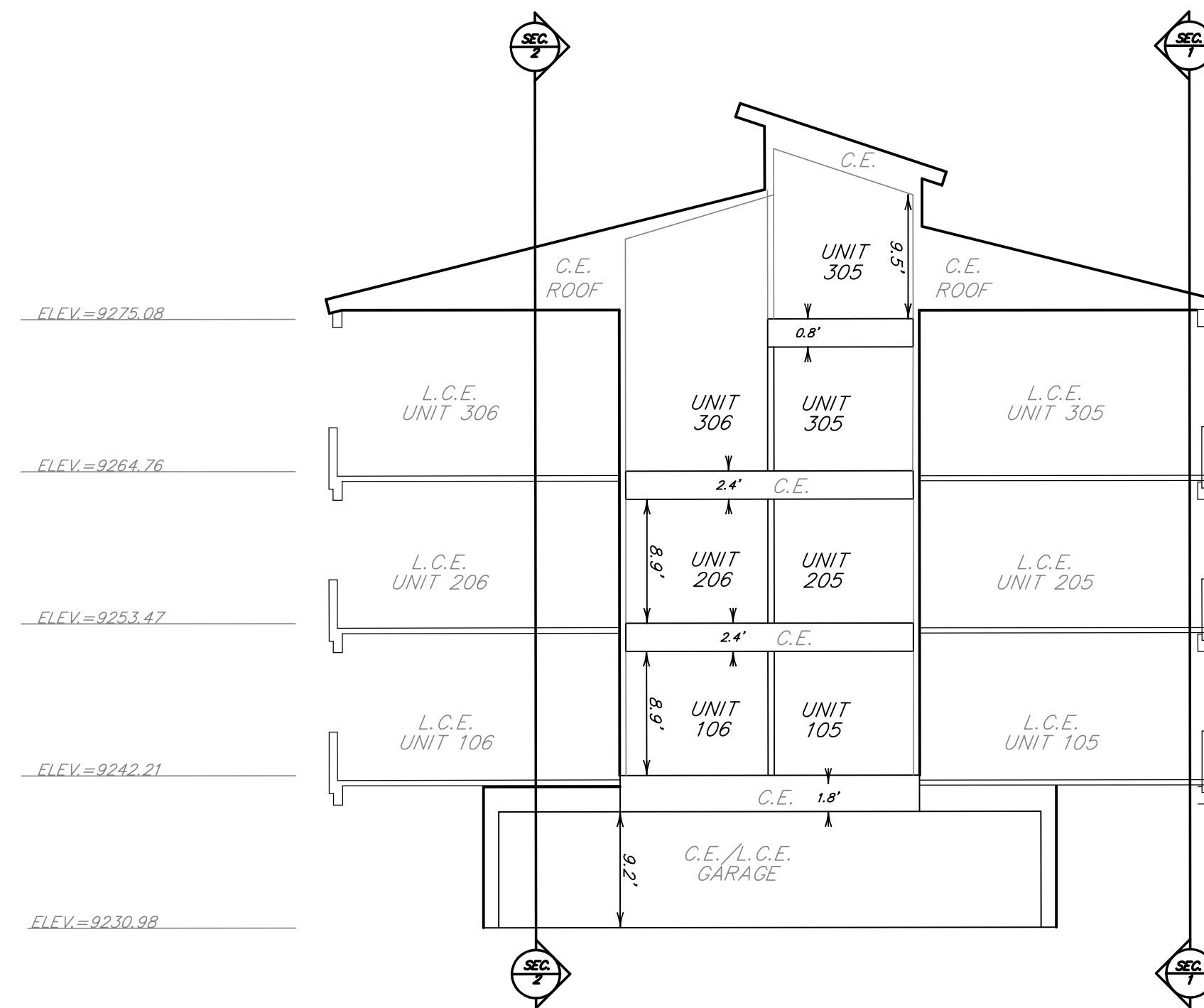
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Drawn ESH	Dwg SHEET 7	Project 22436
Checked JJK	Date 11/06/2025	Sheet 7 of 8
RAN-GE-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

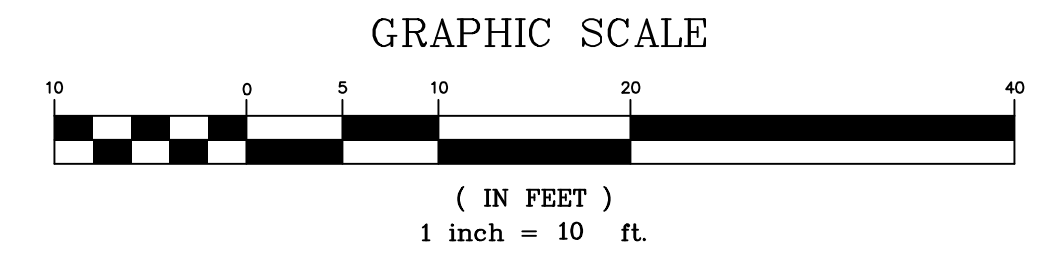
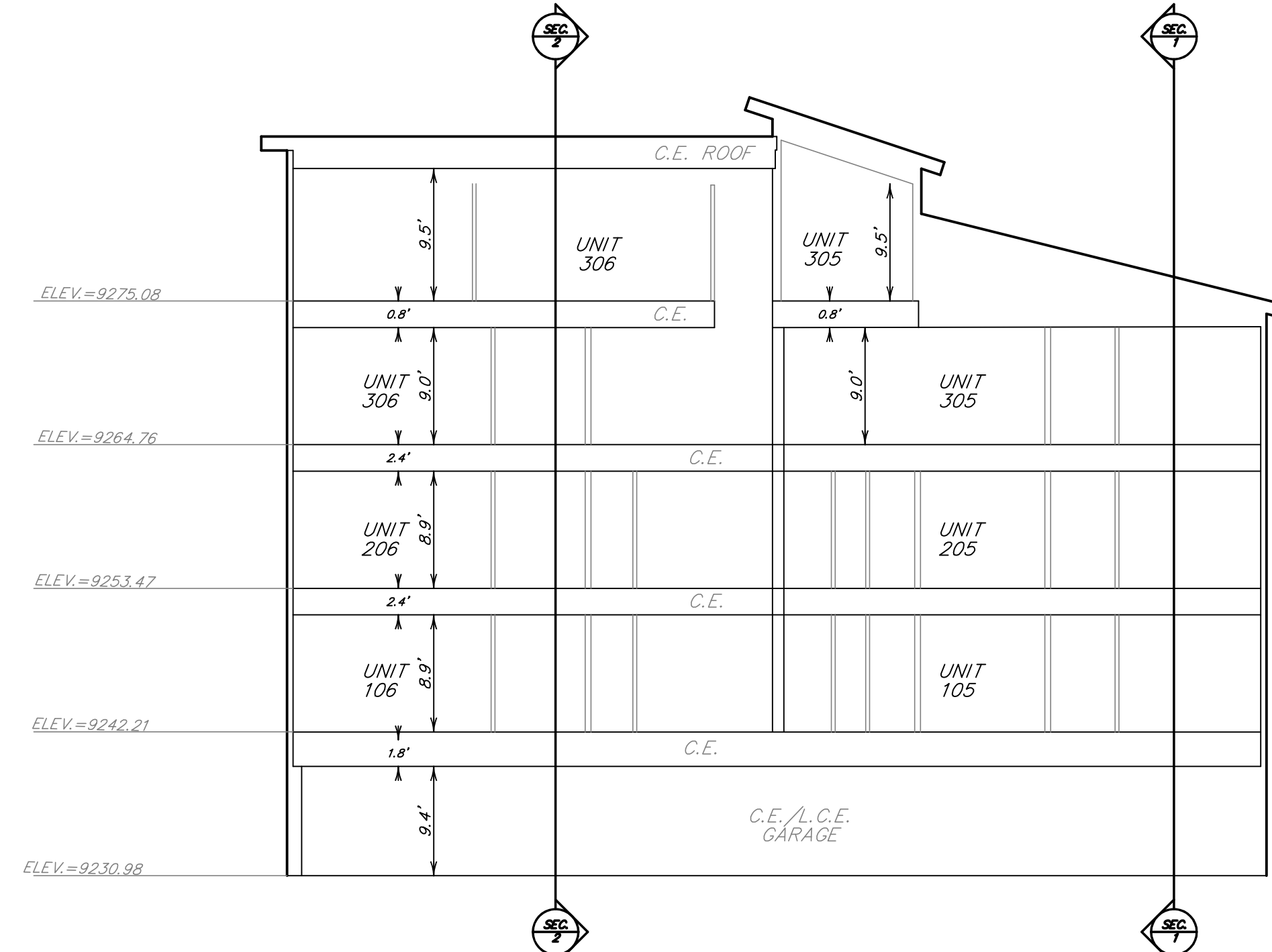
A CONDOMINIUM MAP OF
BRIGHTWOOD AT KEYSTONE – EAST BUILDING

A RESUBDIVISION OF THE FUTURE EXPANSION AREA OF BRIGHTWOOD AT KEYSTONE – WEST BUILDING
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SECTION 23, TOWNSHIP 5 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
TOWN OF KEYSTONE, SUMMIT COUNTY, COLORADO
SHEET 8 OF 8

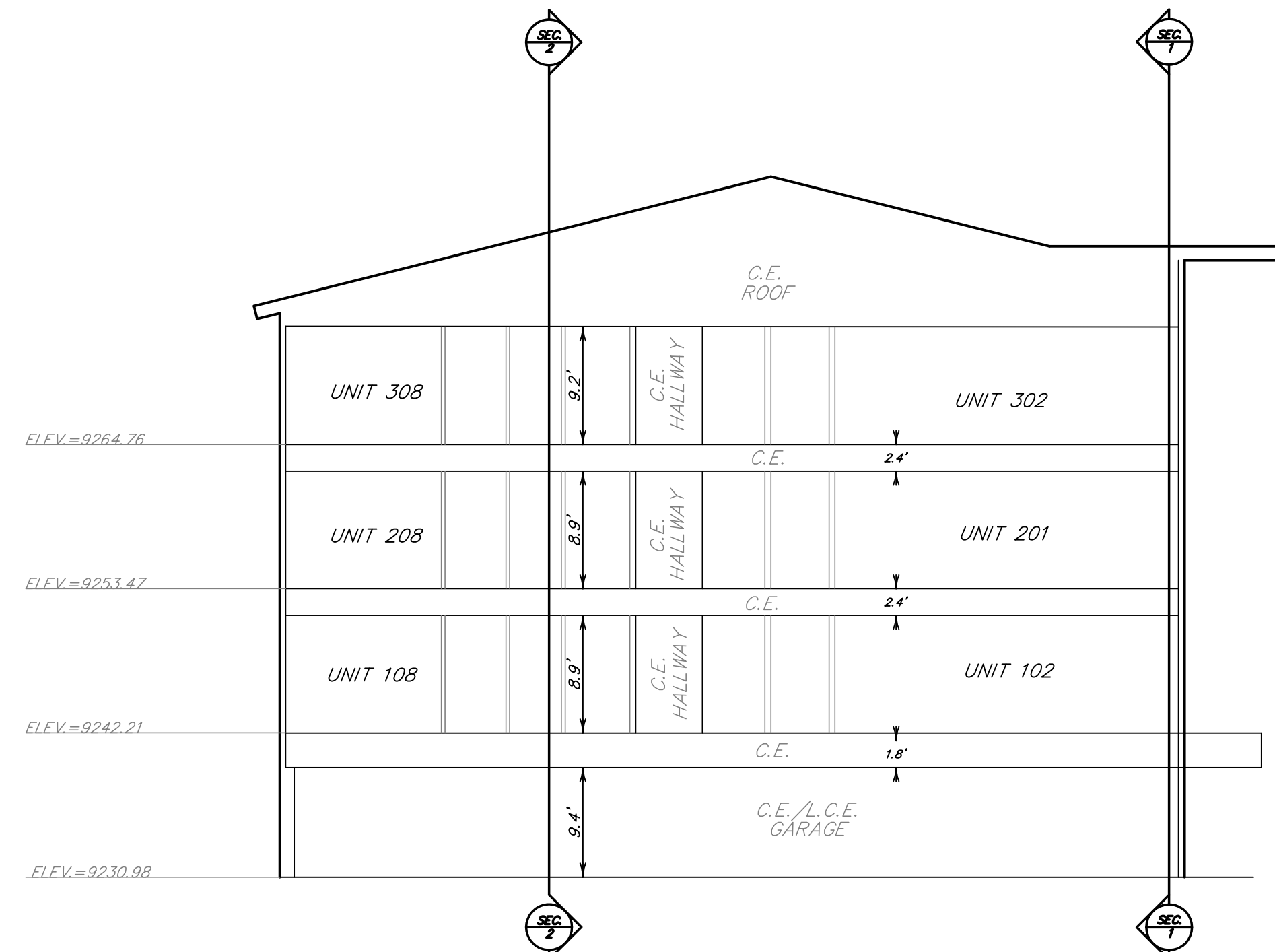
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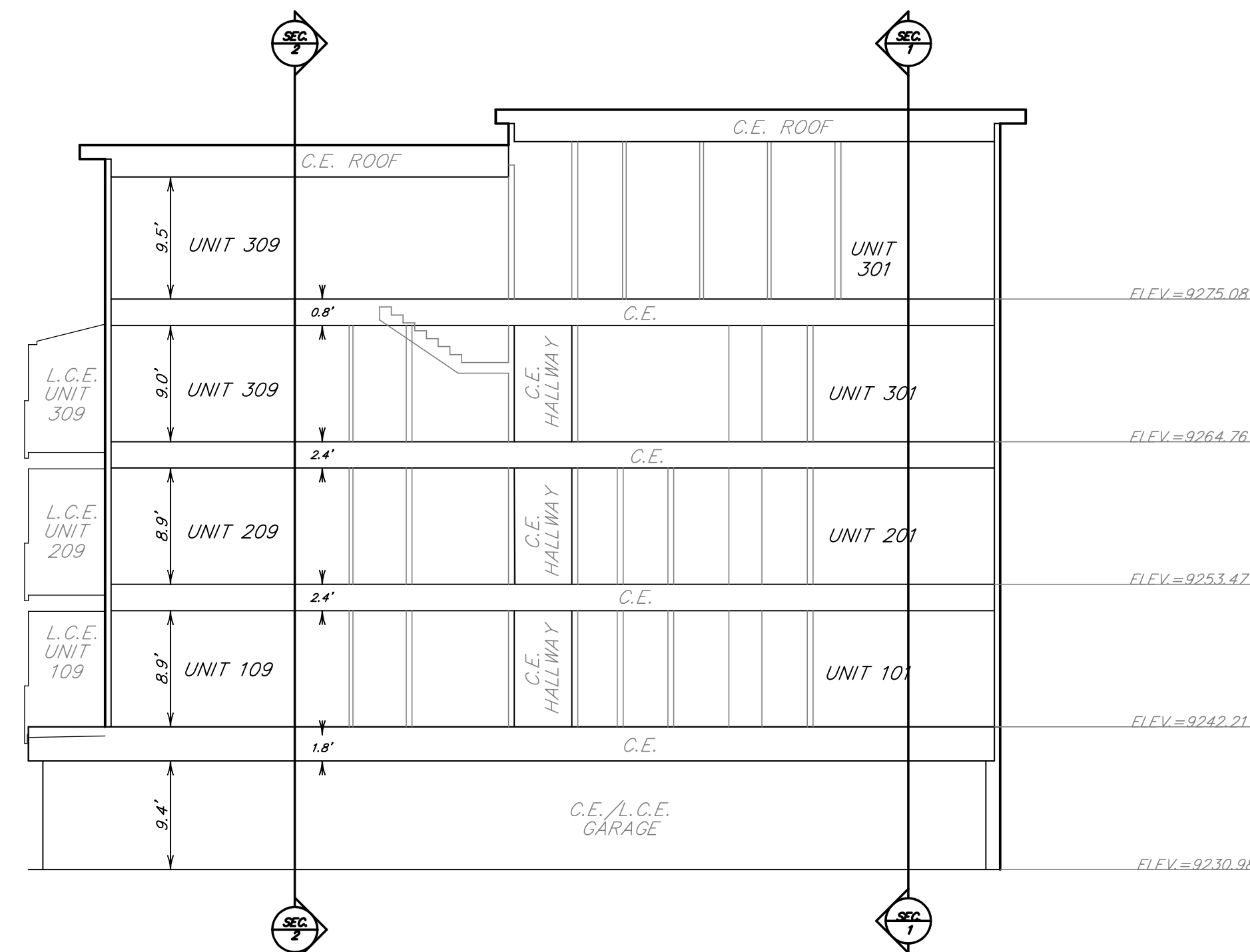
SECTION 4



SECTION 5



SECTION 6



- EXTERIOR WALL
- STRUCTURAL WALL
- NON-STRUCTURAL WALL
- UTILITY WALL
- C.E. COMMON ELEMENT
- L.C.E. LIMITED COMMON ELEMENT



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Drawn ESH	Dwg SHEET 8	Project 22436
Checked JJK	Date 11/06/2025	Sheet 8 of 8
RANGLAND WEST ENGINEERS & SURVEYORS INC.		
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